



Arlington Zoning Board of Appeals

Date: Tuesday, September 8, 2020

Time: 7:30 PM

Location: Remote Participation

Additional Details:

Agenda Items

Administrative Items

1. **Remote participation details**

In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the Arlington Zoning Board of Appeals meetings shall be physically closed to the public to avoid group congregation until further notice. The meeting shall instead be held virtually using Zoom.

Please read Governor Baker's Executive Order Suspending Certain Provision of Open Meeting Law for more information regarding virtual public hearings and meetings: <https://www.mass.gov/doc/open-meeting-law-order-march-12-2020/download>

2. **Members Vote Meeting Minutes From 08/25/2020**

Hearings

3. **Docket #3594 - 72-74 Grafton Street**
4. **Docket #3628 - 16 Maynard Street**
5. **Docket #3629 - 34-36 Newport Street**
6. **Docket #3630 - 49 Magnolia Street**
7. **Docket #3632 - 469 Appleton Street**

Meeting Adjourn



Town of Arlington, Massachusetts

Members Vote Meeting Minutes From 08/25/2020



Town of Arlington, Massachusetts

Docket #3594 - 72-74 Grafton Street

ATTACHMENTS:

Type	File Name	Description
Application for Special Permit	ZBA_Package__72-74_Grafton_Street.pdf	ZBA Package For 72-74 Grafton Street



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by 72-74 Grafton Street, LLC of Somerville Massachusetts on June 25, 2020 a petition seeking permission to alter their property located at **72-74 Grafton Street - Block Plan 027.0-0001-0013.0**. Said petition would require a Special Permit under **Section 8.1.3 (B) (Nonconforming Single-Family or Two-Family Dwellings)** of the Zoning Bylaw for the Town of Arlington.

This Special Permit was granted on June 25, 2020. Because of a Building Code issue with respect to ceiling height over a stairway, the plans had to be modified to comply with this section of the Building Code. The Petitioner wishes the Board will grant this modification so he can move forward with the construction.

Hearing in regard to the said petition will be remotely conducted via "Zoom" **Tuesday evening, September 8, 2020 at 7:30 P.M or as soon thereafter as the petitioner may be heard. Please visit the Town of Arlington website for hearing information.**

DOCKET NO 3594

Zoning Board of Appeals

Christian Klein, RA, Chair

COMMONWEALTH OF MASSACHUSETTS

MIDDLESEX, SS.

ZONING BOARD OF APPEALS

ARLINGTON, MASSACHUSETTS

In the matter of)	
72-74 Grafton Street)	
Arlington, Massachusetts)	Docket Number 3594
)	
Applicant:)	
72-74 Grafton Street, LLC)	

**PETITION FOR ZONING RELIEF
IN ACCORDANCE WITH SECTION 8.1.3
(NONCONFORMING SINGLE-FAMILY OR TWO-FAMILY DWELLINGS)
OF THE AMENDED ZONING BYLAW**

HEARING DATE: HEARING DATE: Originally scheduled for Tuesday, May 28, 2019
Hearing continued to Tuesday, June 25, 2019

DECISION:

Patrick Quinn, Chair
Christian Klein, Vice Chair
Roger DuPont
Kevin Mills
Shawn O'Rourke

STATEMENT OF PROCEEDINGS

The Petitioner, 72-74 Grafton Street, LLC is the owner of the real estate located at 72-74 Grafton Street, Arlington, Massachusetts and seeks a Special Permit with respect to the provisions of Section 8.1.3, further subsection B of the zoning bylaw for the purpose of constructing an addition to an existing two family building located at 72-74 Grafton Street, Arlington, Massachusetts.

Petitioner's requested relief requires a special permit in light of the fact that the property does not conform to the useable open space requirement of the zoning bylaw which requires 30% and Petitioner's lot has 0 open space.

The following documents were submitted to the Zoning Board at the hearing:

1. Plan of Land in Arlington, Mass. 72 Grafton Street Survey by PFS Land Surveying, dated September 27, 2018;
2. Plans of Context, a collaborative design workshop, regarding 72-74 Grafton Street dated December 19, 2018, consisting of Pages A01, A-10, A-30, XA-1 and X-A2;
3. Memorandum of Law and Fact by Attorney Robert J. Annese representing the Petitioner; and
4. Memorandum of Jennifer Raitt, Director, Department of Planning and Community Development, dated April 8, 2019.

Legal notice was provided in the Arlington Advocate for two (2) consecutive weeks, with the notice indicating that a hearing would be held on Tuesday, May 28, 2019 and further continued until Tuesday, June 25, 2019 at the Arlington Town Hall Annex at 7:45 p.m.

The Petitioner acquired title to the real estate on December 8, 2018.

The real estate is located in an R2 zone as defined within the zoning bylaw for the Town and was initially constructed in 2014.

The lot area contains 4,950 square feet and the minimum required for zoning is 6,000 square feet.

The property is nonconforming with respect to frontage containing 55 feet while zoning requires 60 feet and it is also nonconforming with respect to lot area and front yard setback which is 10.9 feet while zoning requires 25 feet and the right side yard setback which contains 6.9 feet while zoning requires 10 feet.

The rear side setback is 25 feet which exceeds the 20 foot minimum rear yard setback contained within the substance of the zoning bylaw.

The height will be 2.5 stories and 31.6 feet both of which calculations comply with the provisions of the zoning bylaw.

The property lacks useable open space and the proposed new construction will consist of 463 square feet with the existing total gross floor area of the building being 4,338 square feet and the proposed being 4,801 square feet.

The square feet of the basement, first floor and second floor will remain unchanged and the addition will occur in a half story in the attic area of the existing building which is 300 square feet and will increase to 763 square feet.

Petitioner's plans show two parking spaces at the property and the plans indicate that the proposed addition will not exceed a half story so that the building plans will not contravene the provisions of the zoning bylaw.

The building inspector has determined that the dormer area will be subject to a 7 foot 3 inch floor to ceiling height, rather than a 7 foot floor to ceiling height as contained in the recent Zoning Amendment passed at Arlington Town Meeting.

A direct abutter to the property, located at 68 Grafton Street appeared at the hearing and registered a concern about the height of the addition and was informed that the height of the addition would need to be in compliance with the provisions of the zoning bylaw and could not exceed the half story requirement contained in the zoning bylaw.

The abutter also raised a concern about the effects of possible sun glare off of windows facing his building and there was discussion about that fact that the building department could contain a condition with respect to issuance of the building permit that the dormer windows facing the abutting home contain an anti-glare application.

There was also discussion with the abutter about the fact that the balance of the building could be constructed "of right" and that there would be no need for zoning relief with respect to the construction of the building beyond the relief sought for the dormer.

The provisions of Section 8.1.3 of the Zoning Bylaw provide in part in Section B as follows:

"No alteration, reconstruction, extension, or structural change to a single or two-family residential structure that increases the nonconforming nature of said structure shall be permitted unless there is a finding by the Board of Appeals that the proposed alteration, reconstruction, extension, or structural change will not be substantially more detrimental to the neighborhood."

FINDINGS OF FACT AND DECISION OF THE BOARD

The Zoning Board made the following findings of fact following the close of the hearing in accordance with the Special Permit criteria contained within the substance of the Zoning Bylaw:

1.) Indicate where the use requested is listed in the Table of Use Regulations as a Special Permit in the district for which the application is made or is so designated elsewhere in the Arlington Zoning Bylaw.

See Section 8.1.3 of the zoning bylaw.

2.) Describe how the requested use is essential or desirable to the public convenience or welfare.

Petitioner is requesting a Special Permit to construct an addition to the existing nonconforming building which would add additional living space to the residential building but not cause an undue burden to the Town's services or adversely impact neighboring properties

3.) Describe how the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.

The requested use will not create undue traffic congestion, or unduly impair pedestrian safety as the building will continue to be used as it has been used in the past.

4.) Describe how the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.

The requested use will not overload any public water, drainage or sewer system or any other municipal system as once again; the building will continue to be used as it has been used historically.

5.) Describe how any special regulations for the use, set forth in Article 11, are fulfilled.

The special regulations for the use, set forth in Article 11, are fulfilled

6) Describe how the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health, morals, or welfare.

The proposed use will not impair the integrity and character of the district or adjoining districts and will not be detrimental to the health, morals or welfare of the

inhabitants in the neighborhood of the property but rather will fit with other homes in the neighborhood of the Petitioner's building.

In addition, the proposed addition will not increase the nonconforming nature of the building to such a degree that the resulting use would be substantially different than the preexisting use in its effect in the neighborhood where the property is located.

7.) Describe how the requested use will not, by its addition to a neighborhood, cause an excess of that particular use that could be detrimental to the character of said neighborhood.

The requested use will not by its addition to the neighborhood cause an excess of that particular use that could be detrimental to the character of the neighborhood.

At the close of the Hearing a motion was made and seconded and the Board voted unanimously to grant the Petitioner a Special Permit in accordance with the provisions of Section 8.1.3 of the Arlington Zoning Bylaw subject to the following conditions:

The Petitioner is to submit an As Built plan to the Building Inspection Department showing that the construction of the dormer will not contravene the provisions of the Zoning Bylaw with respect to the addition being in excess of a half story.

The Petitioner shall consult with the Building Department with respect to having an anti-sun glare application to the dormer windows facing the abutting property located at 68 Grafton Street.

The final plans and specifications approved by the Board for the permit shall be the final plans and specifications submitted to the Building Inspector of The Town of Arlington in connection with this application for zoning relief. There shall be no deviation during construction from approved plans and specifications without the express written approval of the Arlington Zoning Board of Appeals.

The Building Inspector is hereby notified that he is to monitor the site and should proceed with appropriate enforcement procedures at any time he determines that violations are present and the Inspector of Buildings shall proceed under Section 10.09 of the Zoning Bylaw, under the provisions of Chapter 40A Section 21D, and institute non-criminal complaints. If necessary, the Inspector of Buildings may also approve and institute appropriate criminal action, also in accordance with Section 10.09.

The Board hereby makes a detailed record of all its proceedings relative to this appeal; sets forth the reasons for its decision and finding; directs that this record be filed in the office of the Redevelopment Board and in the office of the Town Clerk and shall be a public record, and that notice of this decision be made forthwith to each party in interest. Appeals to this decision, if any, shall be made pursuant to Section 17 of the Zoning Act (Massachusetts. General Laws, Chapter 40A), and shall be filed within twenty days after the date of filing of such decision in the Office of the Town Clerk.

Patrick Quinn, Chair

Christian Klein, Vice Chair

Roger DuPont

Kevin Mills

Shawn O'Rourke



TOWN OF ARLINGTON
DEPARTMENT OF PLANNING and
COMMUNITY DEVELOPMENT

TOWN HALL, 730 MASSACHUSETTS AVENUE
ARLINGTON, MASSACHUSETTS 02476
TELEPHONE 781-316-3090

MEMORANDUM

To: Zoning Board of Appeals
From: Jennifer Raitt, Director, Dept. of Planning and Community Development/kl
Date: 4/8/2019
RE: Docket 3594 – 72-74 Grafton Street; Special Permit under Zoning Bylaw Section 8.1.3
(Nonconforming Single-Family or Two-Family Dwellings)

The applicant, 72-74 Grafton Street, LLC, seeks a Special Permit in accordance with Section 8.1.3 (Nonconforming Single-Family or Two-Family Dwellings) of the Zoning Bylaw. The applicant is seeking to construct an addition of 463 square feet on the third floor of an existing two-family structure. It is unclear whether the addition meets Section 2-14 of the Zoning Bylaw's definition of a half story, as the area of the addition that will be greater than 7 feet 3 inches in height is not specified in the plans.

The pre-existing home is nonconforming with the current Zoning Bylaw's lot area; frontage; front and right yard setbacks; and usable open space requirements. Additionally, the "Dimensional and Parking Information" form indicates that only one parking space is required, although the provided plans suggest that more than one vehicle could park on the property (either in the garage or tandem in the driveway), so it is unclear if the required parking minimum is met. The proposal would reduce the usable open space from 20% to 18% of GFA, and it is unclear if the proposal would cause the structure to exceed the maximum allowable square footage allowed in the definition of a half story.

The following is an application of the Special Permit criteria (Zoning Bylaw Section 3.3.3):

Criterion #1: Requested Use

The requested use is permitted in the R-2 Zoning District through the granting of a special permit only if less than half of the finished floor area is at a clear height of 7 feet 3 inches or more. The "Open Space/Gross Floor Area" worksheet indicates that under the proposal, the area of the third floor would be 763 square feet – more than half of the second floor's 1,455 square feet – although it is unclear in the plans if a portion of the addition would be lower than 7 feet 3 inches.

Criterion #2: Public Convenience/Welfare

This proposal would provide additional living space.

Criterion #3: Undue Traffic Congestion/Impairment of Public Safety

There would not be an increase in traffic congestion or an impairment of public safety.

Criterion #4: Undue Burden on Municipal Systems

There would not be an undue burden on municipal systems.

Criterion #5: Special regulations

This proposal would not result in the need for special regulations.

Criterion #6: Integrity/Character of District; Detrimental to Health, Morals, Welfare

Overall, this proposal would not detrimentally impact the neighborhood character of the district or adjoining districts, nor will it be detrimental to the health, morals, or welfare of the neighbors of the property.

Criterion #7: Detrimental Excess in Particular Use

This proposal would not cause any detrimental excesses.

Below are aerial and street-based photos of the current building:





Recommendation:

Because the submitted plans do not specify how much of the proposed addition would be 7 feet 3 inches or more, the Department of Planning and Community Development is unable to determine if the proposal complies with R2 zoning district regulations. DPCD recommends that the Zoning Board of Appeals requests additional information about the total finished area of the half story to ensure that the area of the proposed addition higher than 7 feet 3 inches is less than half of the total finished area of the third floor, thereby meeting the definition of a half-story.

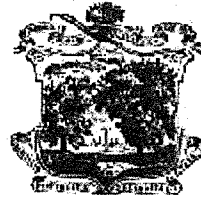


Town of Arlington, Massachusetts

Docket #3628 - 16 Maynard Street

ATTACHMENTS:

Type	File Name	Description
▣ Application for Special Permit	ZBA_Package__16_Maynard_Street.pdf	ZBA Package For 16 Maynard Street
▣ Memorandum	3628_16_Maynard_St.pdf	DPCD Memo for 16 Maynard



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3 A of the Zoning Bylaws that there has been filed by Matthew Bolad of Arlington, Massachusetts on June 22, 2020 a petition seeking permission to alter his property located at **16 Maynard Street - Block Plan 048.0-0002-0002.0** Said petition would require a Special Permit under **Section 8.1.3 (B) (Nonconforming Single-Family or Two-Family Dwellings)** of the Zoning Bylaw for the Town of Arlington.

Hearing in regard to the said petition will be remotely conducted via "Zoom" **Tuesday evening September 8, 2020 at 7:30 P.M or as soon thereafter as the petitioner may be heard. Please visit the Town of Arlington website for hearing information.**

DOCKET NO 3628

Zoning Board of Appeals
Christian Klein, RA, Chair

For more information contact: zba@town.arlington.ma.us

REQUEST FOR SPECIAL PERMIT

TOWN OF ARLINGTON

In the matter of the Application of Matthew Boland
to the Zoning Board of Appeals for the Town of Arlington:
Application for a Special Permit is herewith made, in accordance
with Section 10.11 of the Zoning Bylaw for the Town of Arlington,
seeking relief from the following specific provisions of the Zoning
Bylaw, and as described fully in the attached form, Special Permit
Criteria: The Petitioner seeks a Special Permit in accordance with
Section 8.1.3 (B) of the Town of Arlington Zoning Bylaw.

The Petitioner/Applicant states he/she/they is/are the owner -
occupant of the land in Arlington located at 16 Maynard Street
with respect to such relief is sought; that no unfavorable action
has been taken by the Zoning Board of Appeals or its predecessors
upon a similar petition regarding this property within the two (2)
years next immediately prior to the filing hereof. The applicant
expressly agrees to full compliance with any and all conditions and
qualifications imposed upon this permission, whether by the Zoning
Bylaw or by the Zoning Board of Appeals, should the same be
granted. The Applicant represents that the grounds for the relief
sought are as follows: Proposed dormer addition will increase the
non-conformity of the property with respect to open space.

E-Mail mboland07@gmail.com Signed M Boland Date: 6/10/20
Telephone 781. 640. 3087 Address 16 Maynard St.
Arlington MA 02474
16 of 88

Special Permit Criteria- The following standards must be addressed and met for the grant of a Special Permit:

1). Indicate where the use requested is listed in the Table of Use Regulations as a Special Permit in the district for which the application is made or is so designated elsewhere in the Arlington Zoning Bylaw.
Section 8.1.3 (c) non-conforming single family or two-family dwellings.

2). Describe how the requested use is essential or desirable to the public convenience or welfare.
The dormer will allow for additional living space for a growing Arlington Family.

3). Describe how the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.
The use of the property will not change, will not impair pedestrian safety or add to traffic congestion in the area.

4). Describe how the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.
There will be no change in use and will remain a single family dwelling unit.

5). Describe how any special regulations for the use, set forth in Article 11, are fulfilled.
All regulations for the use in Article 11 have been fulfilled.

6). Describe how the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health, morals, or welfare.
The proposed dormer will be comparable to many houses of similar character and therefore will not be detrimental to the health, morals or welfare of the surrounding community.

7). Describe how the requested use will not, by its addition to a neighborhood, cause an excess of that particular use that could be detrimental to the character of said neighborhood.

Proposed dormer will not impact the use as it will remain a 2-family house and be in harmony with similar 2-family

homes in the surrounding area.

TOWN OF ARLINGTON
 Dimensional and Parking Information
 For application to The Zoning Board of Appeals

1. Property Location: 16 Maynard Street Zoning District: R-2
2. Present Use/Occupancy: Residential No. of dwelling units (if residential) 2
3. Existing Gross Floor Area (see definition of Gross Floor Area (GFA) in Article 2 of the Town of Arlington Zoning Bylaw and provide supporting documentation (worksheet) showing dimensions of GFA by floor: 3,766sf
4. Proposed Use/Occupancy: Res. (no change) No. of dwelling units (if residential) 2
5. Proposed Gross Floor Area (see definition of Gross Floor Area in Article 2 of the Town of Arlington Zoning Bylaw and provide supporting documentation (worksheet) showing dimensions of GFA by floor): 4,008sf

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (sq. ft.)	4,000+/-	4,000+/-	min. 6,000 sf
7. Frontage (ft.)	50'	50'	min. 60'
8. Floor area ratio	n/a	n/a	max. n/a
9. Lot Coverage (%)	27%	27%	max 35%
10. Lot Area per Dwelling Unit (sq. ft.)	n/a	n/a	min. n/a
11. Front Yard Depth (ft.)	14.6	14.6	min. n/a
12. Left Side Yard Depth (ft.)	20.1	20.1	min. n/a
13. Right Side Yard Depth (ft.)	4.6	4.6	min. n/a
14. Rear Side Yard Depth (ft.)	21.9	21.9	min. 20% Lot Depth
15. Height (stories)	2.5	2.5	max. 2.5
16. Height (ft.)	27'-8"	27'-8"	max. 35'
17. Landscaped Open Space (% of GFA) Sq. ft. <u>1,351</u>	35%	33%	min. 10%
18. Usable Open Space (% of GFA) Sq. ft. <u>0</u>	0%	0%	min. 30%
19. Parking Spaces (number)	4	4	min. 4
20. Parking area setbacks	0	0	min. 0
21. Loading Spaces (if applicable)	n/a	n/a	min.
22. Type of construction	Vb	Vb	-

OPEN SPACE/GROSS FLOOR AREA

Refer to Zoning Bylaw Article 2, Definitions and Article 6, Dimensional Regulations

Address 16 Maynard St. Zoning District R-2

<u>OPEN SPACE</u>	<u>EXISTING</u>	<u>PROPOSED</u>
Total lot area	<u>4,000</u>	<u>4,000</u>
Open Space (Usable)*	<u>0</u>	<u>0</u>
Open Space (Landscaped)	<u>1,351</u>	<u>1,351</u>

*Usable Open Space must be at least 75% open to the sky, free of automotive, traffic and parking, and readily accessible. Open space shall be deemed usable only if : 1) at least 75% of the area has a grade of less than 8% and no horizontal dimension less than 25 feet.

<u>GROSS FLOOR AREA (GFA)</u>		
Accessory building	<u>0</u>	<u>0</u>
Basement or cellar (>5’ excluding mechanical area)	<u>711</u>	<u>711</u>
1 st Floor	<u>1,028</u>	<u> </u>
2 nd Floor	<u>1,028</u>	<u> </u>
3 rd Floor	<u> </u>	<u> </u>
4 th Floor	<u> </u>	<u> </u>
5 th Floor	<u> </u>	<u> </u>
Attic (>7’3” in height, excluding elevator, mechanical)	<u>100</u>	<u>342</u>
Parking garages (except as used for accessory Parking garages or off street loading purposes)	<u>n/a</u>	<u>n/a</u>
All weather habitable porches and balconies	<u>466</u>	<u>466</u>
Total Gross Floor Area (GFA)	<u>3766</u>	<u>4008</u>

<u>REQUIRED MINIMUM OPEN SPACE AREA</u>	
Proposed Usable Open Space Percent of GFA	<u>0%</u>
Proposed Landscaped Open Space Percent of GFA	<u>33%</u>

This worksheet applies to plans dated 6/9/20 designed by Fino Design Group

Reviewed by Inspectional Services _____ Date: _____



TOWN OF ARLINGTON
DEPARTMENT OF PLANNING and
COMMUNITY DEVELOPMENT

TOWN HALL, 730 MASSACHUSETTS AVENUE
ARLINGTON, MASSACHUSETTS 02476
TELEPHONE 781-316-3090

MEMORANDUM

To: Zoning Board of Appeals
From: Jennifer Raitt, Director, Dept. of Planning and Community Development/kl
Date: 8/20/2020
RE: Docket number unknown – 16 Maynard St; Special Permit under Section 8.1.3 (B)
(Nonconforming Single-Family or Two-Family Dwellings)

The applicant, Matthew Boland, seeks a Special Permit in accordance with Section 8.1.3 (B) (Nonconforming Single-Family or Two-Family Dwellings) of the Zoning Bylaw. The applicant seeks to construct an addition of a dormer on the upper level of their living unit in a two-family structure. The addition would increase the total square footage of the structure from 3,766 to 4,008 square feet (+242 square feet). It is unclear whether the proposed addition meets the definition of a half story, as the applicant has not provided dimensional details showing the total area of the finished floor below the roof framing and slope of the roof that will be at a height of seven feet or more.

The property is in the R2 Zoning District, and is nonconforming with the Zoning Bylaw's lot area, frontage, front yard, right side yard, and usable open space requirements. The proposed addition would not increase any of the nonconformities of the existing structure, however if the dimensions of the proposed half story exceed the dimensional requirements needed to meet the definition of a half story, the addition could create a new nonconformity in the maximum height in stories.

The following is an application of the Special Permit criteria (Zoning Bylaw Section 3.3.3):

Criterion #1: Requested Use

The requested use is permitted in the R2 Zoning District through the granting of a Special Permit if less than one half the floor area measured from the underside of the roof framing to the finished floor below has a clear height of 7 feet 0 inches or more. The applicant has not provided the necessary dimensions to calculate whether the proposal complies with this definition.

Criterion #2: Public Convenience/Welfare

The applicant has not provided floor plans of the existing conditions on the third floor. However, it appears that this proposal would provide additional living space through the addition or renovation of a bedroom, bathroom, and laundry area.

Criterion #3: Undue Traffic Congestion/Impairment of Public Safety

There would not be an increase in traffic congestion or an impairment of public safety.

Criterion #4: Undue Burden on Municipal Systems

There would not be an undue burden on municipal systems.

Criterion #5: Special regulations

This proposal would not result in the need for special regulations.

Criterion #6: Integrity/Character of District; Detrimental to Health, Morals, Welfare

This type of addition is common in the surrounding neighborhood. The proposed design would not detrimentally impact the neighborhood character of the district or adjoining districts, nor will it be detrimental to the health, morals, or welfare of the neighbors of the property.

Criterion #7: Detrimental Excess in Particular Use

This proposal would not cause any detrimental excesses.

Below are aerial and street-view photos of the current building:





Recommendation:

The Department of Planning and Community Development recommends that the Zoning Board of Appeals requests details regarding the dimensions of the third story of the structure to ensure that the addition meets the Zoning Bylaw's definition of a half story prior to approving this application.

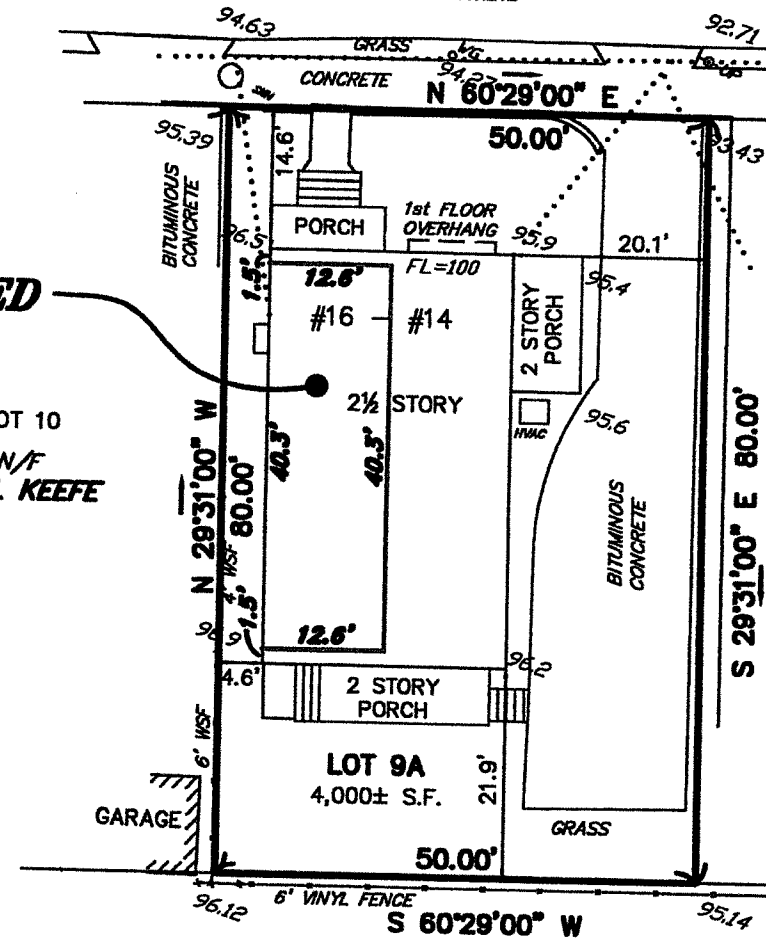
MAYNARD STREET

(PUBLIC - 40' WIDE)
BITUMINOUS CONCRETE



**PROPOSED
DORMER**

LOT 10
N/F
GAEL KEEFE

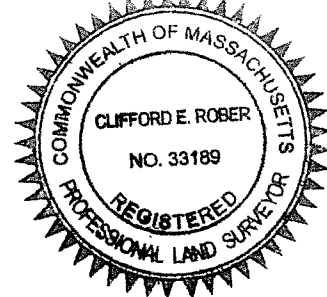


LOT 8A
N/F
ROBERT SIMMONS &
MARILYN MARTIN

LOT 33A
N/F
THE 1871 COMPANY, LLC

CURB GRADE = 94.1
EXISTING/PROPOSED HEIGHT - 28.1

I HEREBY CERTIFY THAT THE BUILDING IS
LOCATED AS SHOWN.



PREPARED FOR: MATT BOLAND

**PROPOSED PLOT PLAN
#14-16 MAYNARD STREET
IN
ARLINGTON, MA
(MIDDLESEX COUNTY)**

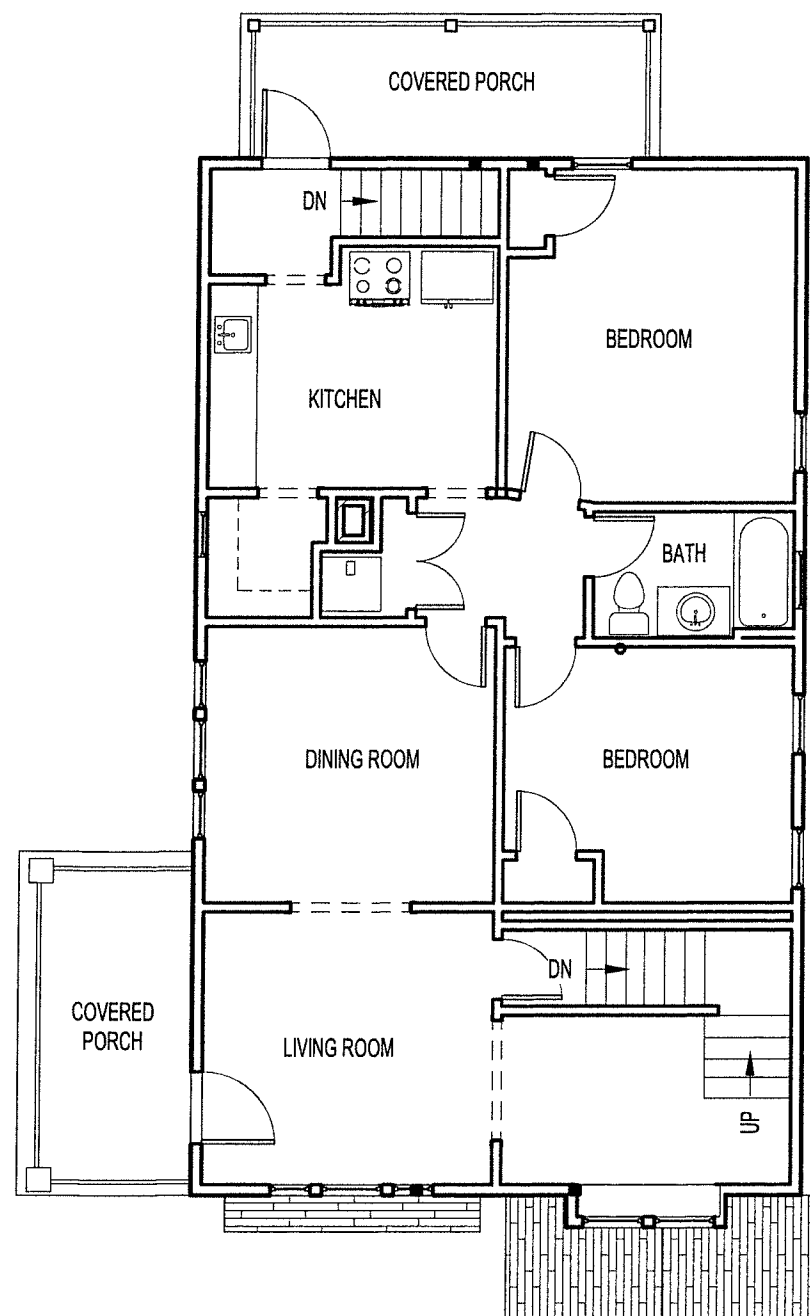
SCALE: 1" = 20' DATE: 3/2/2020



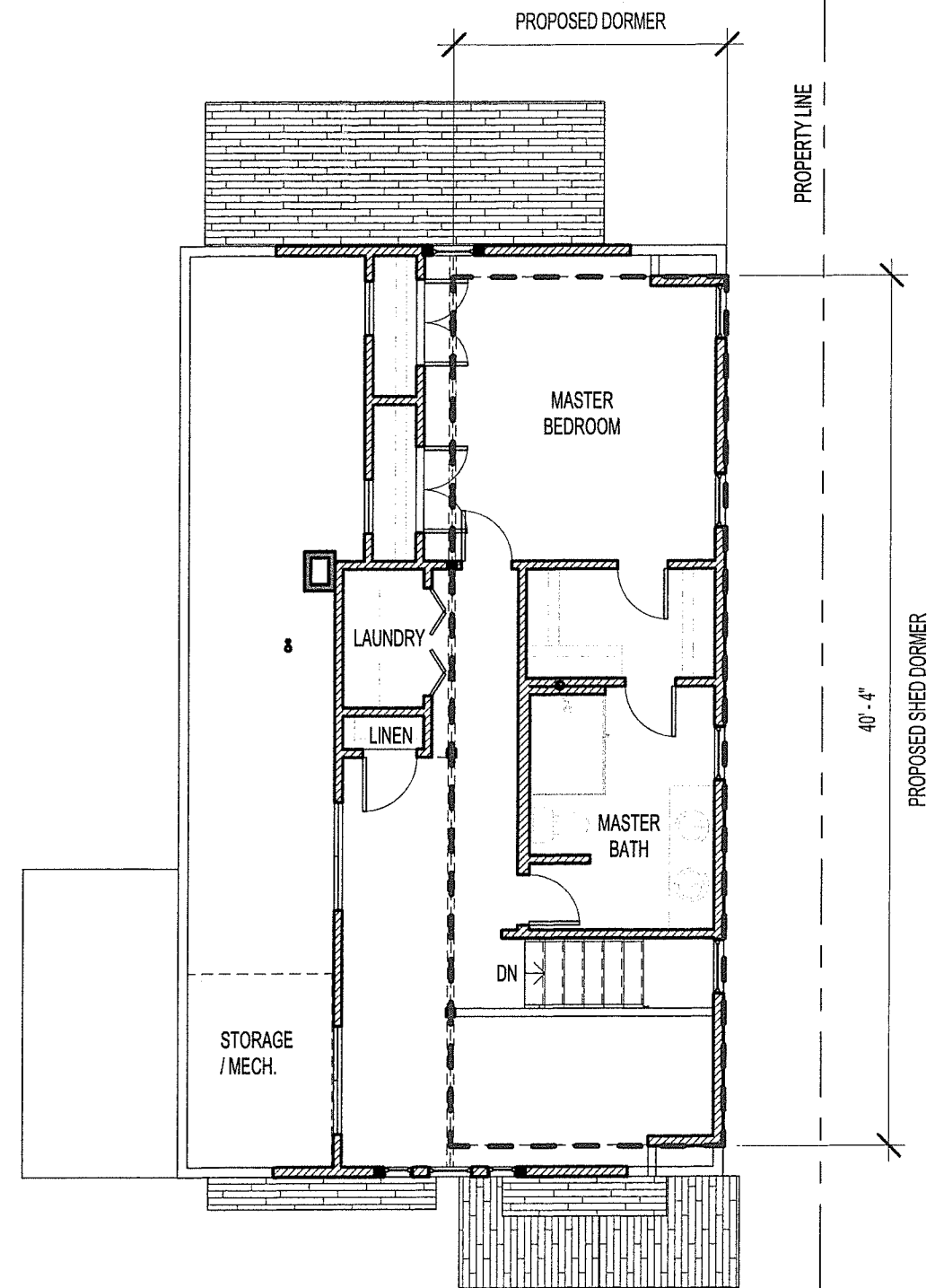
ROBER SURVEY
1072A MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
4719PP2.DWG

CLIFFORD E. ROBER, PLS DATE

THIS PLAN MAY HAVE BEEN ALTERED IF
THE SIGNATURE IS NOT SIGNED IN BLUE.



2 EXISTING SECOND FLOOR PLAN - NO CHANGE
A1 1/8" = 1'-0"



1 THIRD FLOOR PROPOSED PLAN - NEW DORMER
A1 1/8" = 1'-0"



No.	Description	Date

FLOOR PLANS

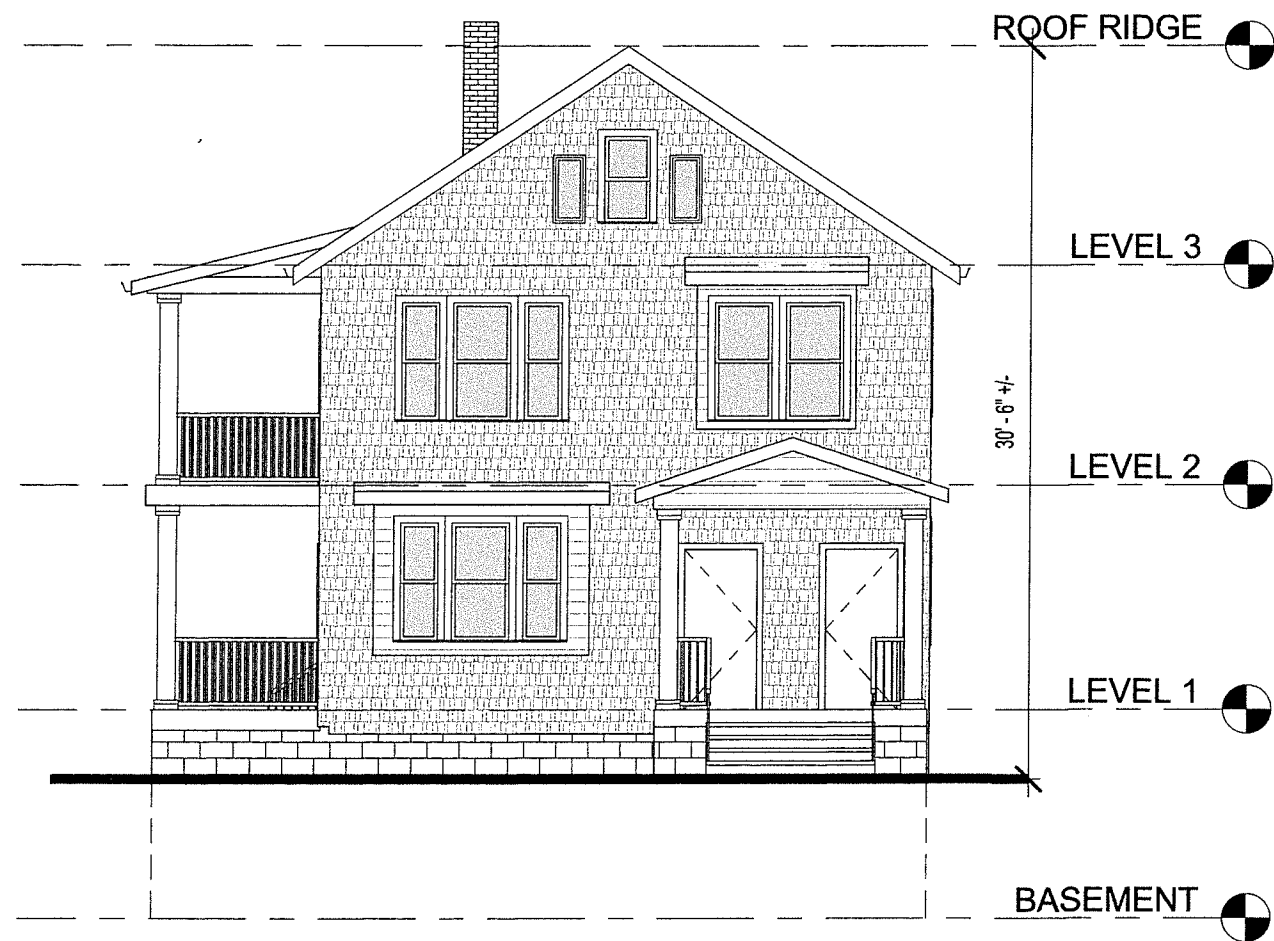
Project number 2020-008

Date 6-9-2020

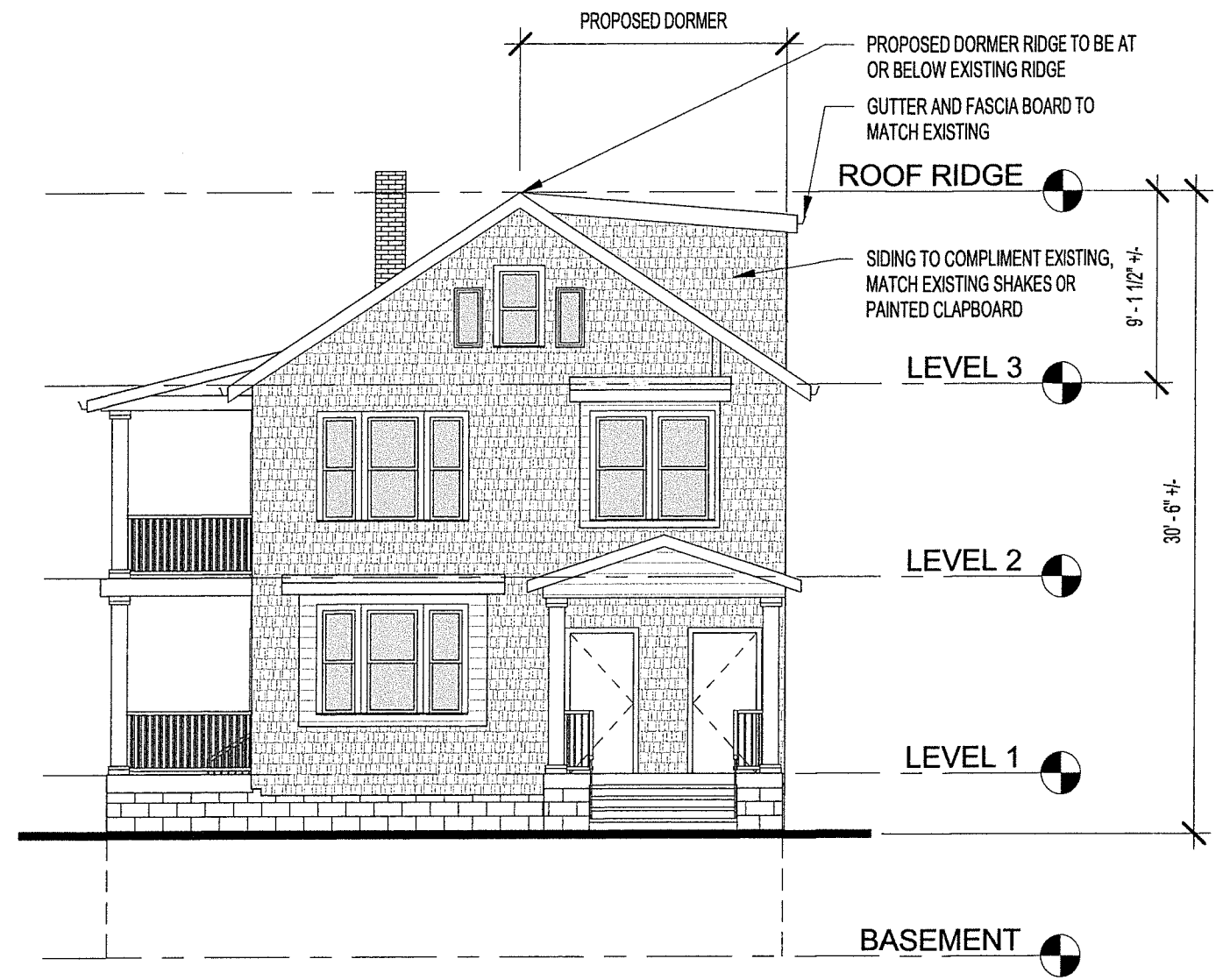
Drawn by CM

A1

Scale 1/8" = 1'-0"



1	NORTH ELEVATION - EXISTING
A2.1	1/8" = 1'-0"



2	NORTH ELEVATION - PROPOSED
A2.1	1/8" = 1'-0"

No.	Description	Date

FRONT ELEVATION

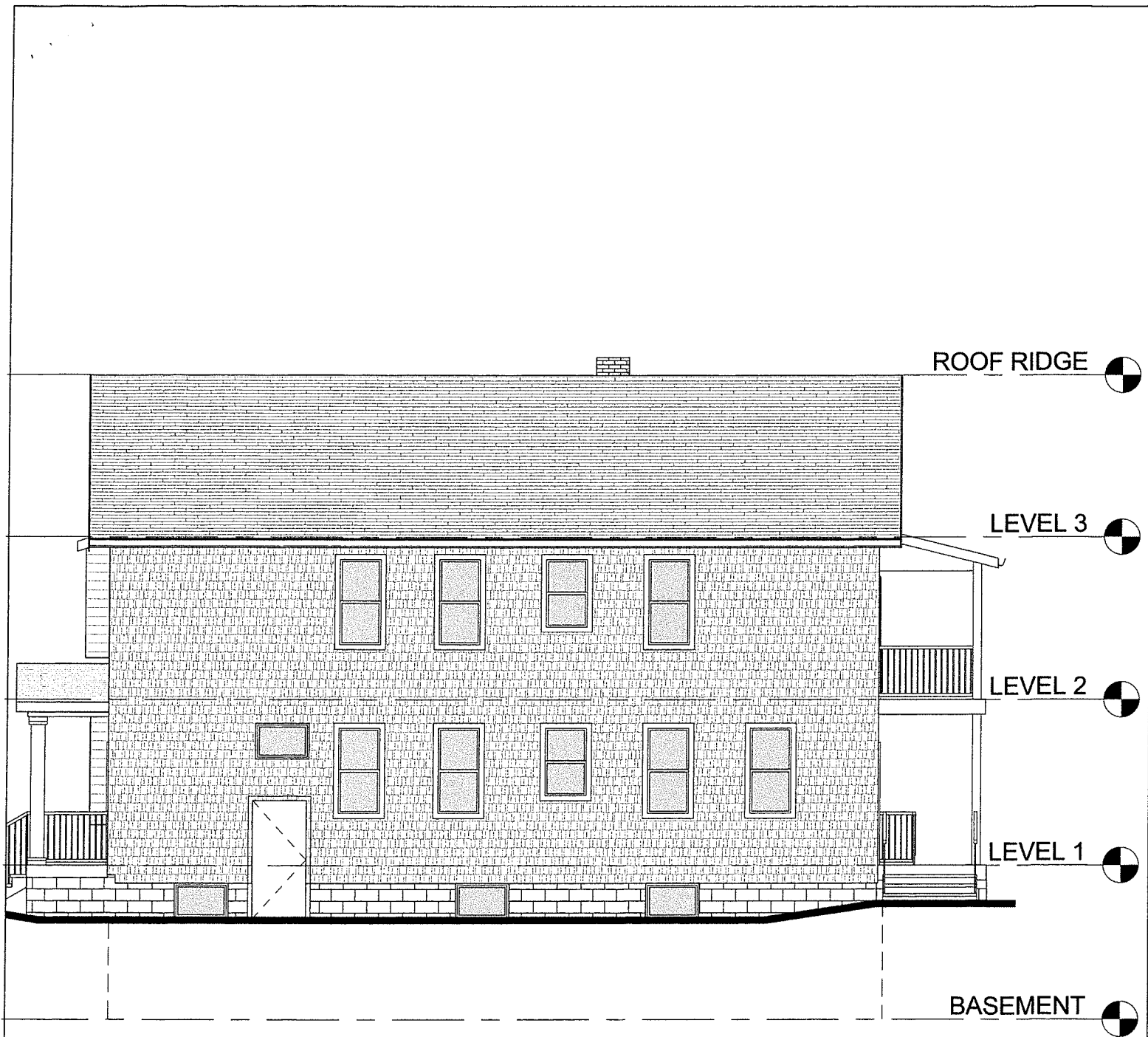
Project number 2020-008

Date 6-9-2020

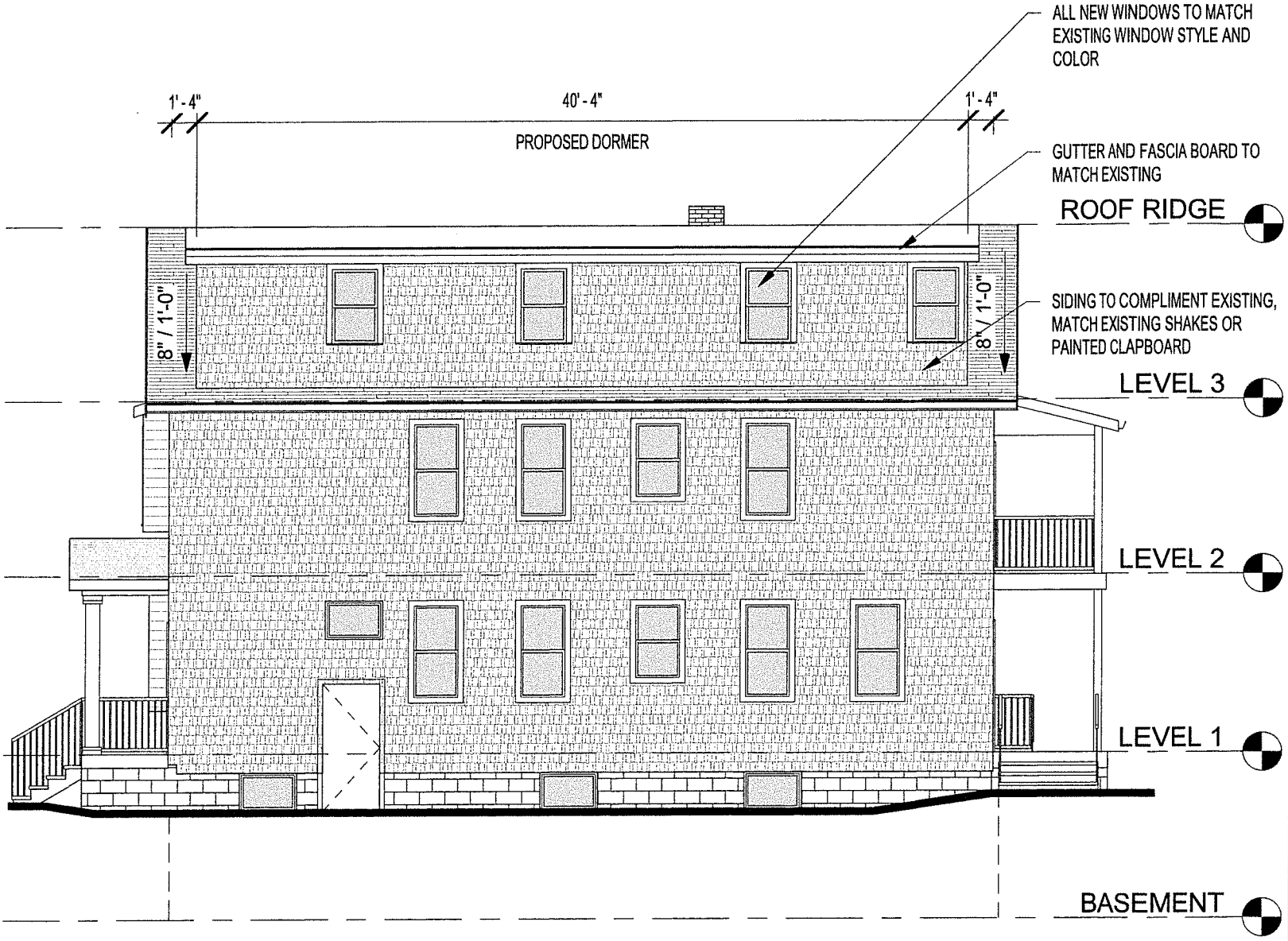
Drawn by CM

A2.1

Scale 1/8" = 1'-0"



1 WEST ELEVATION - EXISTING
A2.2 1/8" = 1'-0"



2 WEST ELEVATION - PROPOSED DORMER
A2.2 1/8" = 1'-0"

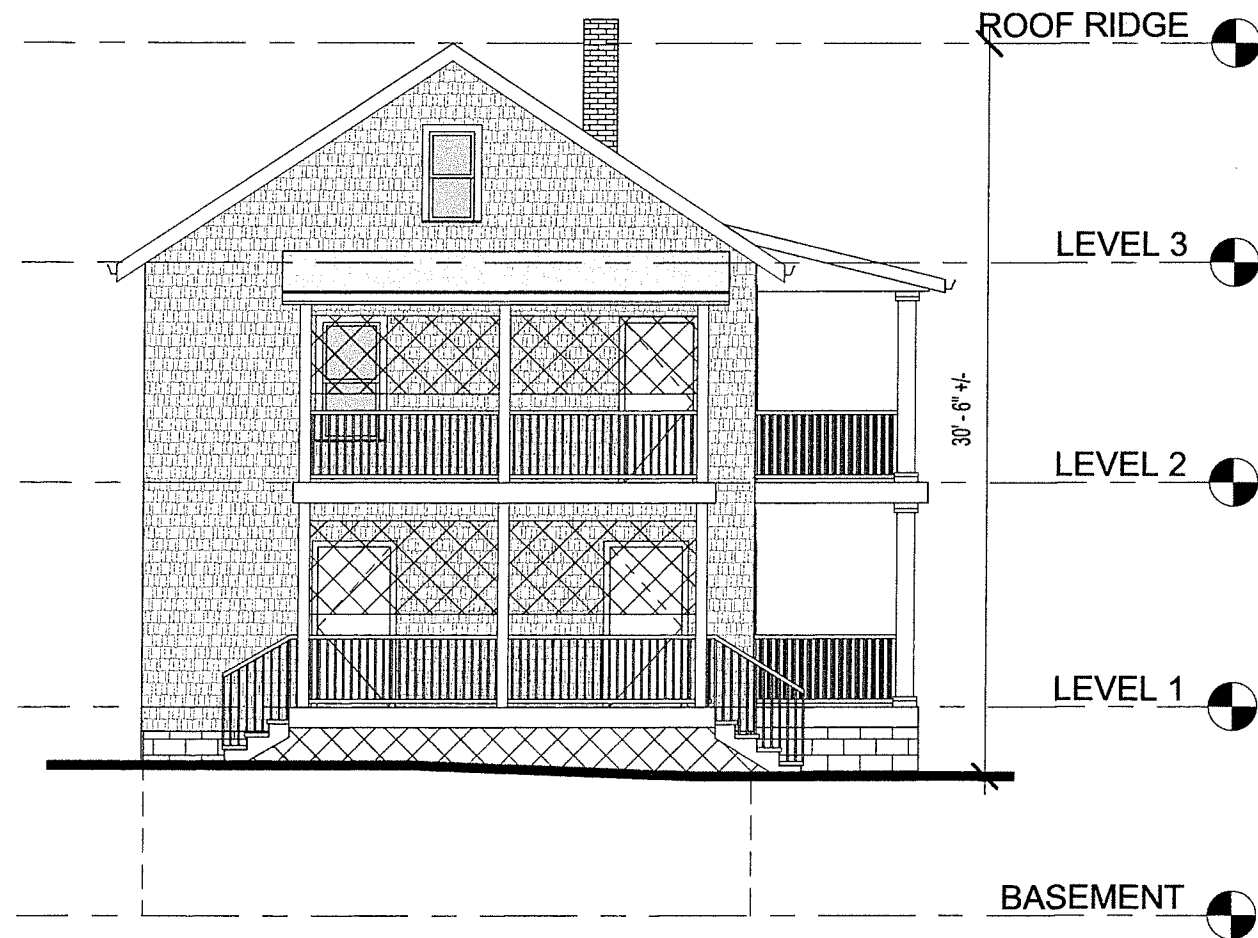
No.	Description	Date

RIGHT ELEVATION

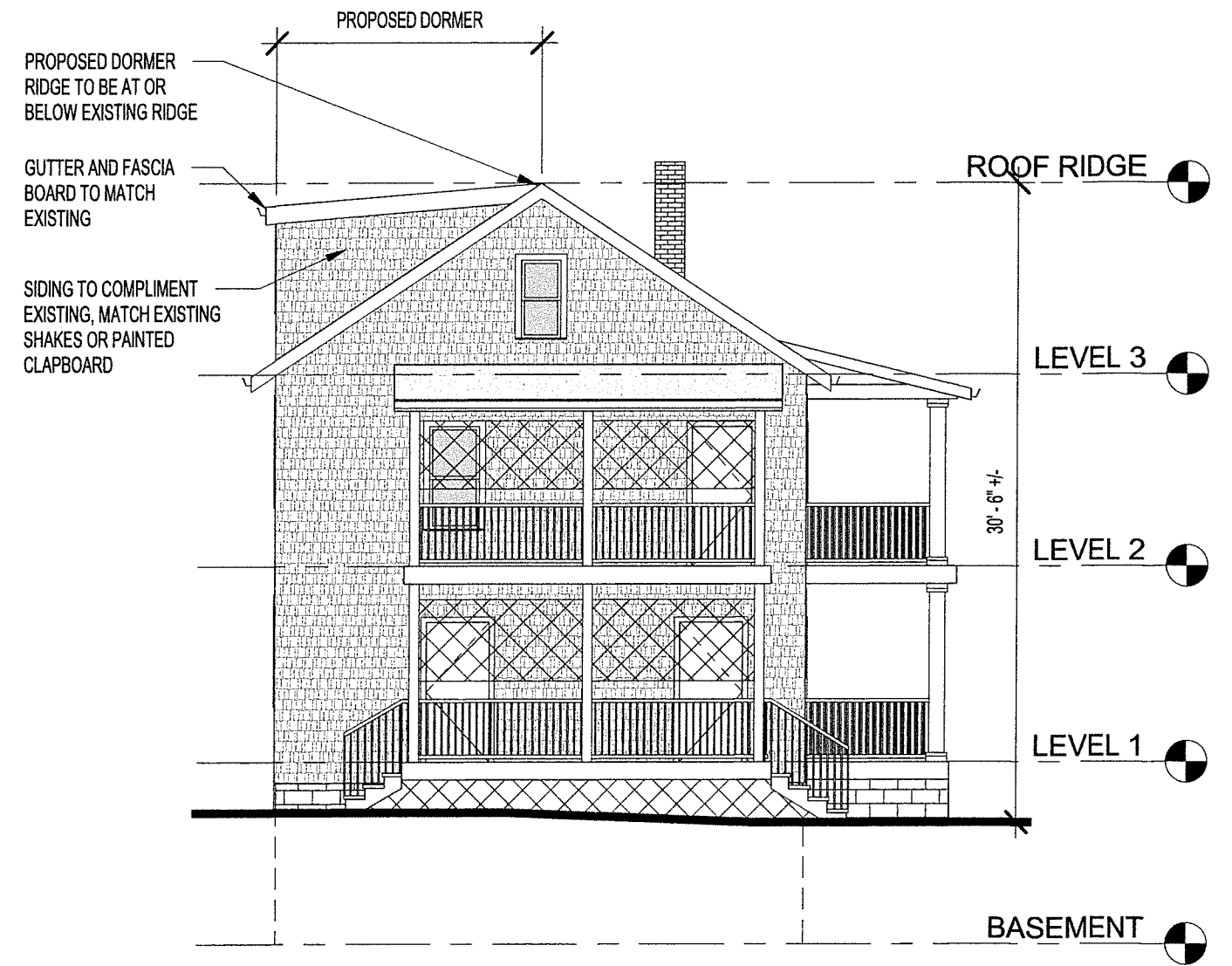
Project number 2020-008
Date 6-9-2020
Drawn by CM

A2.2

Scale 1/8" = 1'-0"



1	SOUTH ELEVATION - EXISTING
A2.3	1/8" = 1'-0"



2	SOUTH ELEVATION - PROPOSED
A2.3	1/8" = 1'-0"

No.	Description	Date

REAR ELEVATION

Project number 2020-008

Date 6-9-2020

Drawn by CM

A2.3

Scale 1/8" = 1'-0"



2 EAST ELEVATION - EXISTING
A2.4 1/8" = 1'-0"



1 EAST ELEVATION - PROPOSED
A2.4 1/8" = 1'-0"

No.	Description	Date

LEFT ELEVATION

Project number 2020-008
Date 6-9-2020
Drawn by CM

A2.4

Scale 1/8" = 1'-0"



TOWN OF ARLINGTON
DEPARTMENT OF PLANNING and
COMMUNITY DEVELOPMENT

TOWN HALL, 730 MASSACHUSETTS AVENUE
ARLINGTON, MASSACHUSETTS 02476
TELEPHONE 781-316-3090

MEMORANDUM

To: Zoning Board of Appeals
From: Jennifer Raitt, Director, Dept. of Planning and Community Development/kl
Date: 8/20/2020
RE: Docket 3628 – 16 Maynard St; Special Permit under Section 8.1.3 (B) (Nonconforming Single-Family or Two-Family Dwellings)

The applicant, Matthew Boland, seeks a Special Permit in accordance with Section 8.1.3 (B) (Nonconforming Single-Family or Two-Family Dwellings) of the Zoning Bylaw. The applicant seeks to construct an addition of a dormer on the upper level of their living unit in a two-family structure. The addition would increase the total square footage of the structure from 3,766 to 4,008 square feet (+242 square feet). It is unclear whether the proposed addition meets the definition of a half story, as the applicant has not provided dimensional details showing the total area of the finished floor below the roof framing and slope of the roof that will be at a height of seven feet or more.

The property is in the R2 Zoning District, and is nonconforming with the Zoning Bylaw's lot area, frontage, front yard, right side yard, and usable open space requirements. The proposed addition would not increase any of the nonconformities of the existing structure, however if the dimensions of the proposed half story exceed the dimensional requirements needed to meet the definition of a half story, the addition could create a new nonconformity in the maximum height in stories.

The following is an application of the Special Permit criteria (Zoning Bylaw Section 3.3.3):

Criterion #1: Requested Use

The requested use is permitted in the R2 Zoning District through the granting of a Special Permit if less than one half the floor area measured from the underside of the roof framing to the finished floor below has a clear height of 7 feet 0 inches or more. The applicant has not provided the necessary dimensions to calculate whether the proposal complies with this definition.

Criterion #2: Public Convenience/Welfare

The applicant has not provided floor plans of the existing conditions on the third floor. However, it appears that this proposal would provide additional living space through the addition or renovation of a bedroom, bathroom, and laundry area.

Criterion #3: Undue Traffic Congestion/Impairment of Public Safety

There would not be an increase in traffic congestion or an impairment of public safety.

Criterion #4: Undue Burden on Municipal Systems

There would not be an undue burden on municipal systems.

Criterion #5: Special regulations

This proposal would not result in the need for special regulations.

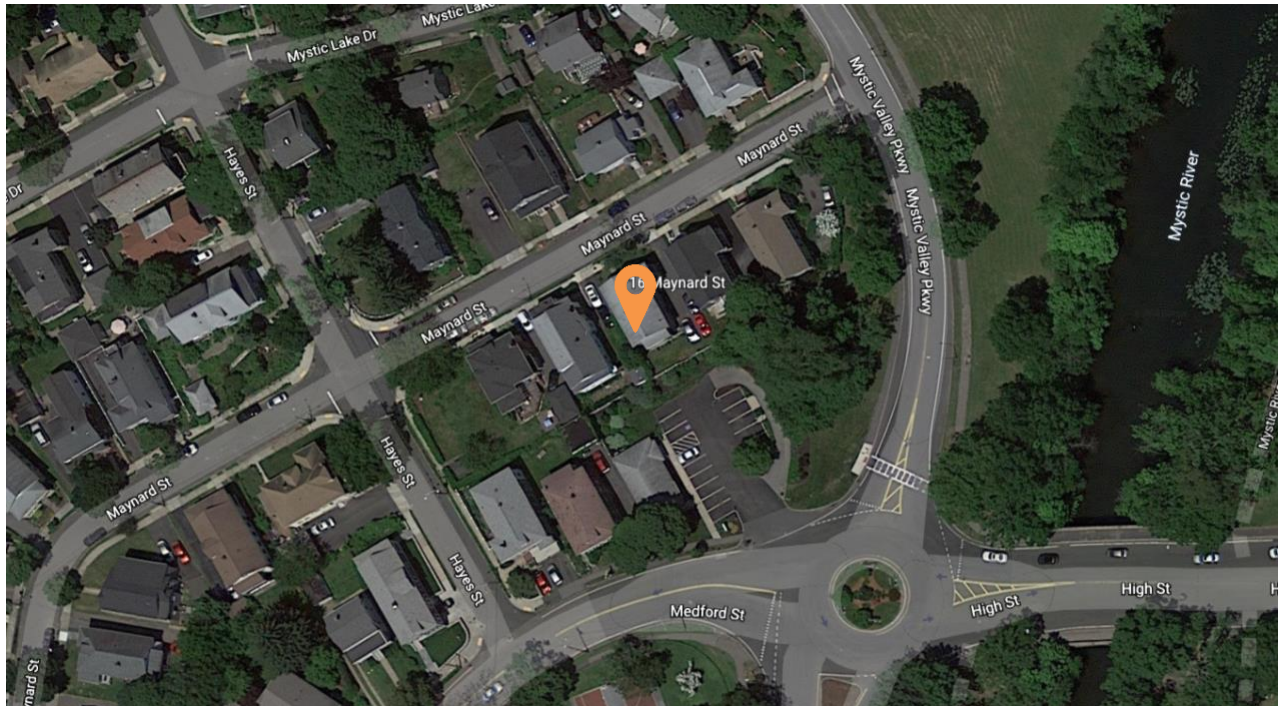
Criterion #6: Integrity/Character of District; Detrimental to Health, Morals, Welfare

This type of addition is common in the surrounding neighborhood. The proposed design would not detrimentally impact the neighborhood character of the district or adjoining districts, nor will it be detrimental to the health, morals, or welfare of the neighbors of the property.

Criterion #7: Detrimental Excess in Particular Use

This proposal would not cause any detrimental excesses.

Below are aerial and street-view photos of the current building:





Recommendation:

The Department of Planning and Community Development recommends that the Zoning Board of Appeals requests details regarding the dimensions of the third story of the structure to ensure that the addition meets the Zoning Bylaw's definition of a half story prior to approving this application.



Town of Arlington, Massachusetts

Docket #3629 - 34-36 Newport Street

ATTACHMENTS:

Type	File Name	Description
▣ Application for Special Permit	ZBA_Package__34-36_Newport_Street.pdf	ZBA Package For 34-36 Newport Street
▣ Memorandum	3629_34-36_Newport_St.pdf	DPCD Memo for 34-36 Newport St



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3 A of the Zoning Bylaws that there has been filed by **Thomas Adams** of Arlington, Massachusetts on June 22, 2020 a petition seeking permission to alter his property located at **34-36 Newport Street - Block Plan 140.0-0003-0013.0** Said petition would require a Special Permit under **Section 6.1.10 (A) Location of Parking Spaces** of the Zoning Bylaw for the Town of Arlington.

Hearing in regard to the said petition will be remotely conducted via "Zoom" **Tuesday evening August 25, 2020 at 7:30 P.M or as soon thereafter as the petitioner may be heard. Please visit the Town of Arlington website for hearing information.**

DOCKET NO 3629

Zoning Board of Appeals
Christian Klein, RA, Chair

REQUEST FOR SPECIAL PERMIT

TOWN OF ARLINGTON

In the matter of the Application of Second Driveway/curb cut
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance
with Section 10.11 of the Zoning Bylaw for the Town of Arlington,
seeking relief from the following specific provisions of the Zoning
Bylaw, and as described fully in the attached form, Special Permit
Criteria:

Curve cut permit for second Driveway.

The Petitioner/Applicant states he/she/they is/are the owner -
occupant of the land in Arlington located at 34-36 Newport ST.
with respect to such relief is sought; that no unfavorable action
has been taken by the Zoning Board of Appeals or its predecessors
upon a similar petition regarding this property within the two (2)
years next immediately prior to the filing hereof. The applicant
expressly agrees to full compliance with any and all conditions and
qualifications imposed upon this permission, whether by the Zoning
Bylaw or by the Zoning Board of Appeals, should the same be

granted. The Applicant represents that the grounds for the relief
sought are as follows: This is a Two-family House,
with single Driveway has been a major
barrier to renting the other apartment.
There is suitable land available for second
driveway on the southwest side of the
property. We are Husband & wife, both now, Retired
in our 70's, difficult to Juggling cars to park.

E-Mail ttadams55@aol.com Signed Thomas Adams Date: 03/13/2020
Telephone (781) 785-1002 Address 34 Newport ST, Arlington

Special Permit Criteria- The following standards must be addressed and met for the grant of a Special Permit:

1). Indicate where the use requested is listed in the Table of Use Regulations as a Special Permit in the district for which the application is made or is so designated elsewhere in the Arlington Zoning Bylaw.

N/A

2). Describe how the requested use is essential or desirable to the public convenience or welfare.

The second driveway will reduce stress of having to jockey cars as necessary for the two occupants of the house.

3). Describe how the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.

This change will improve traffic congestion because it will eliminate the need for parking cars on Newport street.

4). Describe how the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.

This change will have no negative impact on system nor persons but improve safety and welfare of occupants and neighbors.

5). Describe how any special regulations for the use, set forth in Article 11, are fulfilled.

N/A

6). Describe how the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health, morals, or welfare.

This change will improve health, morals and welfare on all parties involved.

7). Describe how the requested use will not, by its addition to a neighborhood, cause an excess of that particular use that could be detrimental to the character of said neighborhood.

The next door neighbor has their own
driveway on the other side (Grey street).
No detrimental effect on neighborhood.

TOWN OF ARLINGTON
Dimensional and Parking Information
for application to
The Zoning Board of Appeals or the Arlington Redevelopment Board

1. Property Location 34-36 Newport street Zone Residential
2. Owner Thomas & Taseon Adams Address 34-36 Newport street
3. Present Use/Occupancy: No. of Dwelling Units 2 Use(s) and their Gross Floor Area
4. Proposed Use/Occupancy: No. of Dwelling Units 2 Use(s) and their Gross Floor Area

	Present Conditions	Proposed Conditions	Min. or Max. Required for Proposed Use by zoning
5. Lot Size (Sq. Ft.)	5,515 sf		min.
6. Frontage (Ft.)	55'		min.
7. Floor Area Ratio			max.
8. Lot Coverage (%) (where applicable)			max.
9. Lot Area per Dwelling Unit (Sq. Ft.)	1,126 sf		min.
10. Front Yard Depth (Ft.)	18'		min.
11. Side Yard Width (Ft.)	17.42'		min.
12. Rear Yard Depth (Ft.)	36.67'		min.
13. Height: Stories:	2		max.
Feet:			max.
14. Open Space: (% of G.F.A.) Landscaped: (Sq. Ft.)			min.
Usable: (Sq. Ft.)			min.
15. Parking Spaces (No.)	2	4	min.
16. Parking Area Setbacks (Ft.)			min.
17. Loading Spaces (No.)			min.
18. Type of Construction			
19. Distance to Nearest Principal Building (Ft.)			min.

OPEN SPACE/GROSS FLOOR AREA

Refer to Zoning Bylaw Article 2, Definitions and Article 6, Dimensional Regulations

Address 34-36 Newport, Arlington Zoning District Residential

OPEN SPACE	EXISTING	PROPOSED
Total lot area	<u>5,515 sf</u>	<u>SAME</u>
Open Space (Usable)*	<u> </u>	<u> </u>
Open Space (Landscaped)	<u> </u>	<u> </u>

*Usable Open Space must be at least 75% open to the sky, free of automotive, traffic and parking, and readily accessible. Open space shall be deemed usable only if : 1) at least 75% of the area has a grade of less than 8% and no horizontal dimension less than 25 feet.

GROSS FLOOR AREA (GFA)

Accessory building	<u>333 s.f</u>	<u> </u>
Basement or cellar (>5' excluding mechanical area)	<u>1,126 s.f</u>	<u> </u>
1 st Floor	<u>1,126 s.f</u>	<u>No change</u>
2 nd Floor	<u>1,126 s.f</u>	<u> </u>
3 rd Floor	<u>N/A</u>	<u> </u>
4 th Floor	<u>N/A</u>	<u> </u>
5 th Floor	<u>N/A</u>	<u> </u>
Attic (>7'3" in height, excluding elevator, mechanical)	<u>1,126 s.f</u>	<u> </u>
Parking garages (except as used for accessory Parking garages or off street loading purposes)	<u> </u>	<u> </u>
All weather habitable porches and balconies	<u>Not all weather</u>	<u> </u>
Total Gross Floor Area (GFA)	<u> </u>	<u> </u>

REQUIRED MINIMUM OPEN SPACE AREA

Proposed Usable Open Space Percent of GFA	<u> </u>
Proposed Landscaped Open Space Percent of GFA	<u> </u>

This worksheet applies to plans dated _____ designed by _____

Reviewed by Inspectional Services _____ Date: _____

INFORMATION FOR BOARD OF APPEALS RECORD

To be completed by OWNER, signed, and returned to Secretary of the Board of Appeals:

Thomas and Taeseon Adams
(Owner or Petitioner)

Address: 34-36 Newport Street

City or Town: Arlington, MA 02476

Premises: 34-36 Newport St. Arlington, MA
(Street & Number) (Identify Land Affected) (City)

the record title standing in the name of: _____

whose address is: 34-36 Newport St. Arlington, MA 02476
(Street) (City or Town) (State)

by a deed duly recorded in the Middlesex County Registry of Deeds in

Book: 32727 Page: 159, South Registry District of the Land

Court Certificate NO. _____ Book _____ Page _____.

Thomas R. Adams Jr.
(Signature, by Land Owner)



TOWN OF ARLINGTON
DEPARTMENT OF PLANNING and
COMMUNITY DEVELOPMENT

TOWN HALL, 730 MASSACHUSETTS AVENUE
ARLINGTON, MASSACHUSETTS 02476
TELEPHONE 781-316-3090

MEMORANDUM

To: Zoning Board of Appeals
From: Jennifer Raitt, Director, Dept. of Planning and Community Development/kl
Date: 8/20/2020
RE: Docket 3629 – 34-36 Newport Street; Special Permit under Zoning Bylaw Section 6.1.10
(A) (Location of Parking Spaces)

The applicant, Thomas Adams, seeks a Special Permit in accordance with Section 6.1.10 (A) (Location of Parking Spaces) of the Zoning Bylaw. The applicant seeks to add a second driveway to the east of their two-family home to provide more convenient access to parking for them and their tenants. The proposal would add two off-street parking spaces for use by tenants in the owners' rental unit.

The property is in the R2 Zoning District, and is nonconforming with the Zoning Bylaw's lot size, frontage, and front yard requirements. The applicant has not provided dimensional details describing the amount of usable or landscaped open space that would be eliminated under this proposal.

The following is an application of the Special Permit criteria (Zoning Bylaw Section 3.3.3):

Criterion #1: Requested Use

The requested use is permitted in the R2 Zoning District through the granting of a Special Permit.

Criterion #2: Public Convenience/Welfare

This proposal would provide a second driveway and curb cut for the property, providing off-street parking for the tenants of the apartment unit. It is unclear whether adding a second curb cut along Newport Street would present a hazard to pedestrian, bicycle, or vehicular safety.

Criterion #3: Undue Traffic Congestion/Impairment of Public Safety

As mentioned in Criterion #2, it is unclear whether adding a second curb cut along Newport Street would present a hazard to pedestrian, bicycle, or vehicular safety.

Criterion #4: Undue Burden on Municipal Systems

There would not be an undue burden on municipal systems.

Criterion #5: Special regulations

This proposal would not result in the need for special regulations.

Criterion #6: Integrity/Character of District; Detrimental to Health, Morals, Welfare

No other property along Newport Street has a double curb cut or two driveways. It is unclear whether the proposed design would detrimentally impact the neighborhood character of the district or adjoining districts, nor if it would be detrimental to the health, morals, or welfare of the neighbors of the property.

Criterion #7: Detrimental Excess in Particular Use

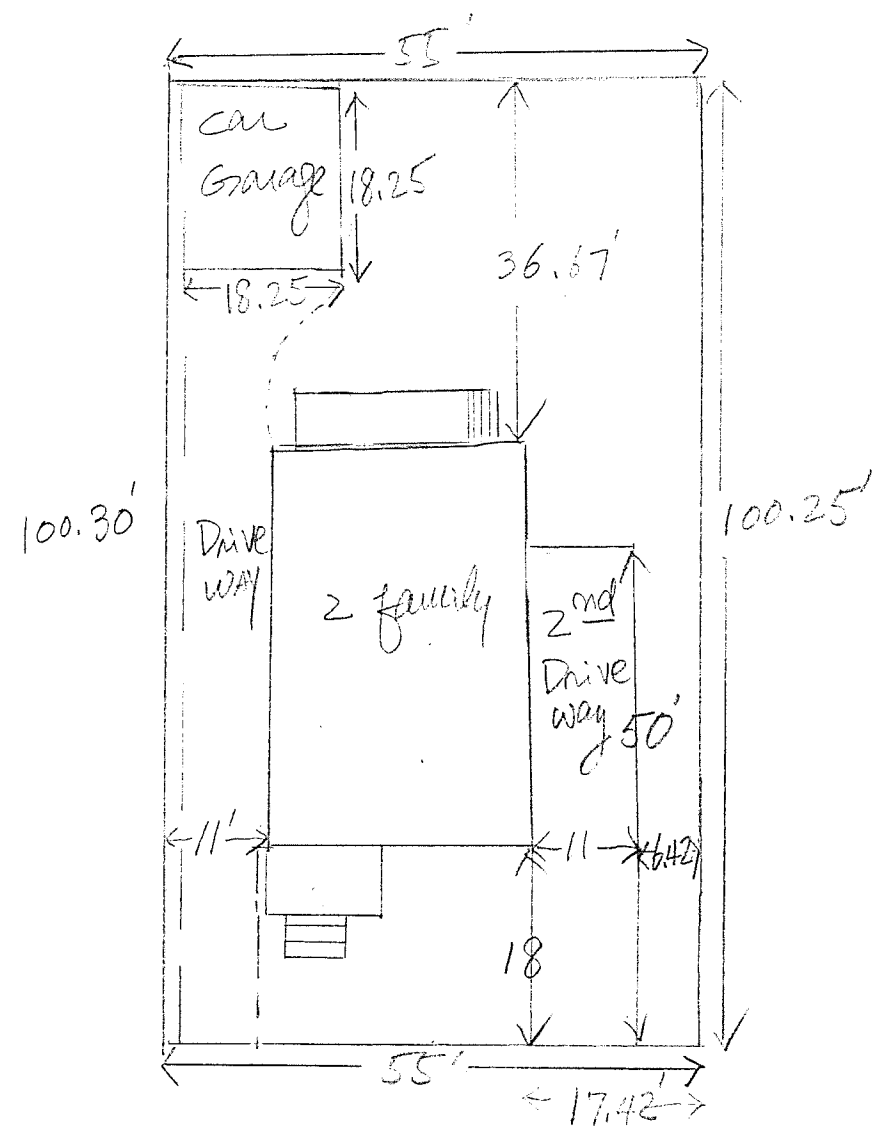
This proposal would not cause any detrimental excesses.

Below are aerial and street-view photos of the current building:



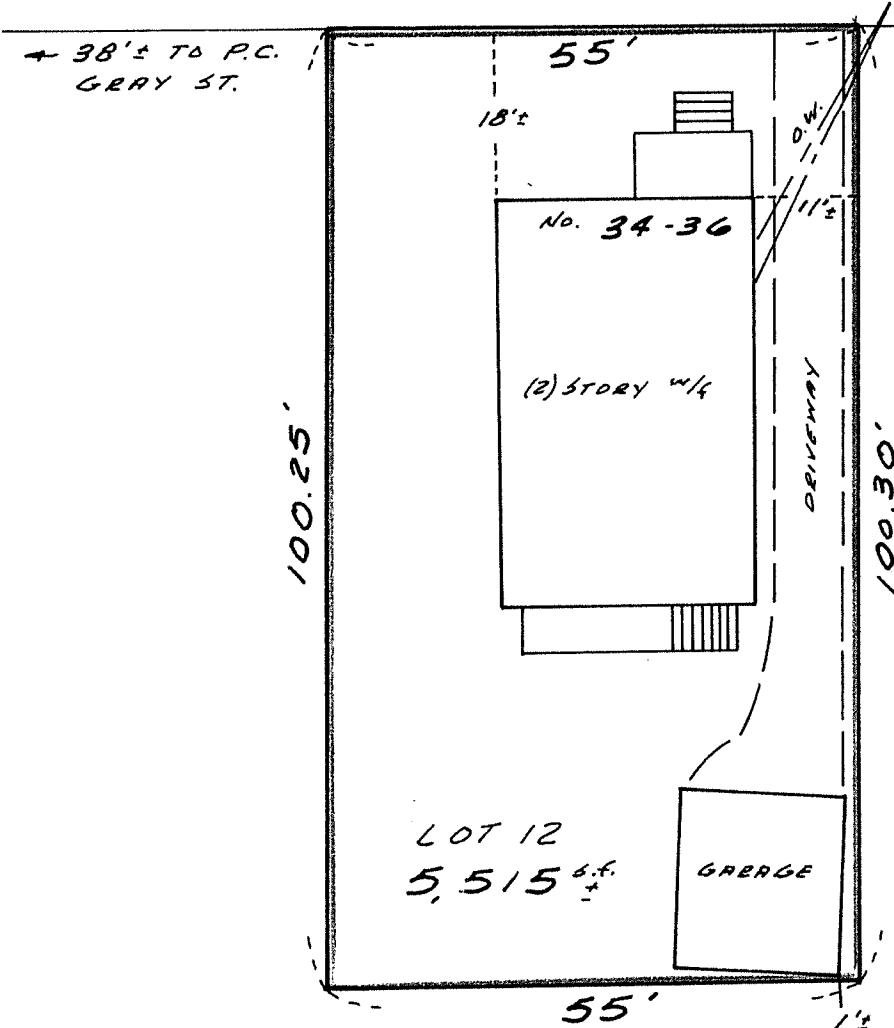
Recommendation:

The Department of Planning and Community Development maintains that this proposal is consistent with the Zoning Bylaw, and recommends that the Zoning Board of Appeals approve this application.



34-36 Newport street
Arlington, MA 02476

NEWPORT STREET



NOTES:

1. THIS PLAN IS INTENDED FOR MORTGAGE AND/OR TITLE INSURANCE PURPOSES AND WAS NOT PREPARED FOR RECORDING.
2. PROPERTY LINES SHOWN WERE NOT ESTABLISHED FROM A MECHANICAL PROPERTY SURVEY AND OFFSETS SHOWN SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES

TITLE REF. (MIDDLESEX REG. OF DEEDS)

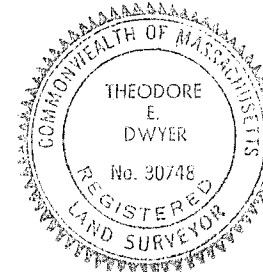
DEED: BOOK 14526 ; PAGE 43

PLAN: PLANBOOK 327 ; PLAN 15

I HEREBY CERTIFY THAT THE STRUCTURES SHOWN ON THIS PLAN ARE LOCATED ON THE GROUND AS INDICATED, IN CONFORMANCE WITH TOWN OF ARLINGTON ZONING LAWS IN EFFECT AT THE TIME OF CONSTRUCTION, AND THAT THE PARCEL DOES NOT FALL IN A FLOOD HAZARD AREA AS DESIGNATED ON THE H.U.D. MAP FOR COMMUNITY NO. 250177B
EFFECTIVE DATE 7-2-82

10-24-84

Theodore E. Dwyer



CERTIFIED PLOT PLAN 34-36 NEWPORT STREET IN ARLINGTON, MASS.

CERTIFIED TO:
COMMONWEALTH MORTGAGE CO., INC.

SCALE: 1"=20'

OCT. 24, 1984

OTE & DWYER, INC.
6 WEBB PLACE

SURVEYORS
SALBOS, MASS.



TOWN OF ARLINGTON
DEPARTMENT OF PLANNING and
COMMUNITY DEVELOPMENT

TOWN HALL, 730 MASSACHUSETTS AVENUE
ARLINGTON, MASSACHUSETTS 02476
TELEPHONE 781-316-3090

MEMORANDUM

To: Zoning Board of Appeals
From: Jennifer Raitt, Director, Dept. of Planning and Community Development/kl
Date: 8/20/2020
RE: Docket 3629 – 34-36 Newport Street; Special Permit under Zoning Bylaw Section 6.1.10
(A) (Location of Parking Spaces)

The applicant, Thomas Adams, seeks a Special Permit in accordance with Section 6.1.10 (A) (Location of Parking Spaces) of the Zoning Bylaw. The applicant seeks to add a second driveway to the east of their two-family home to provide more convenient access to parking for them and their tenants. The proposal would add two off-street parking spaces for use by tenants in the owners' rental unit.

The property is in the R2 Zoning District, and is nonconforming with the Zoning Bylaw's lot size, frontage, and front yard requirements. The applicant has not provided dimensional details describing the amount of usable or landscaped open space that would be eliminated under this proposal.

The following is an application of the Special Permit criteria (Zoning Bylaw Section 3.3.3):

Criterion #1: Requested Use

The requested use is permitted in the R2 Zoning District through the granting of a Special Permit.

Criterion #2: Public Convenience/Welfare

This proposal would provide a second driveway and curb cut for the property, providing off-street parking for the tenants of the apartment unit. It is unclear whether adding a second curb cut along Newport Street would present a hazard to pedestrian, bicycle, or vehicular safety.

Criterion #3: Undue Traffic Congestion/Impairment of Public Safety

As mentioned in Criterion #2, it is unclear whether adding a second curb cut along Newport Street would present a hazard to pedestrian, bicycle, or vehicular safety.

Criterion #4: Undue Burden on Municipal Systems

There would not be an undue burden on municipal systems.

Criterion #5: Special regulations

This proposal would not result in the need for special regulations.

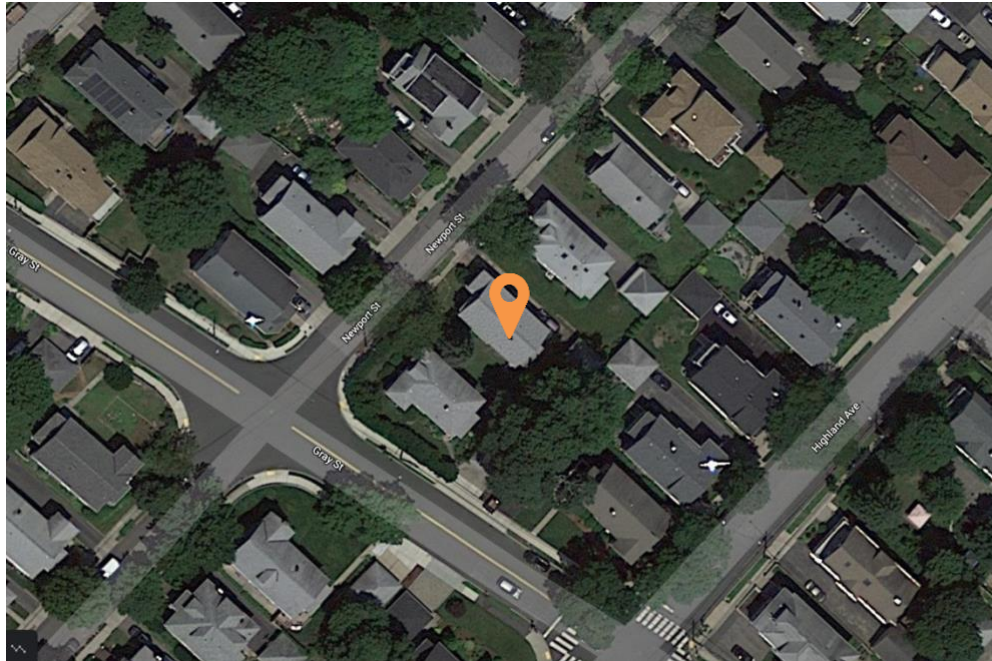
Criterion #6: Integrity/Character of District; Detrimental to Health, Morals, Welfare

No other property along Newport Street has a double curb cut or two driveways. It is unclear whether the proposed design would detrimentally impact the neighborhood character of the district or adjoining districts, nor if it would be detrimental to the health, morals, or welfare of the neighbors of the property.

Criterion #7: Detrimental Excess in Particular Use

This proposal would not cause any detrimental excesses.

Below are aerial and street-view photos of the current building:



Recommendation:

The Department of Planning and Community Development maintains that this proposal is consistent with the Zoning Bylaw, and recommends that the Zoning Board of Appeals approve this application.



Town of Arlington, Massachusetts

Docket #3630 - 49 Magnolia Street

ATTACHMENTS:

Type	File Name	Description
▣ Application for Special Permit	ZBA_Package__49_Magnolia_Street.pdf	ZBA Package For 49 Magnolia Street



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3 A of the Zoning Bylaws that there has been filed by Brian Youmans of Arlington, Massachusetts on June 22, 2020 a petition seeking permission to alter his property located at **49 Magnolia Street - Block Plan 003.0-0005-0019.0** Said petition would require a Special Permit under **Section 8.1.3 (B) (Nonconforming Single-Family or Two-Family Dwellings)** of the Zoning Bylaw for the Town of Arlington.

Hearing in regard to the said petition will be remotely conducted via "Zoom" **Tuesday evening September 8, 2020 at 7:30 P.M or as soon thereafter as the petitioner may be heard. Please visit the Town of Arlington website for hearing information.**

DOCKET NO 3630

Zoning Board of Appeals
Christian Klein, RA, Chair

For information contact: **ZBA@town.arlington.ma.us**

REQUEST FOR SPECIAL PERMIT

TOWN OF ARLINGTON

In the matter of the Application of A special permit
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance
with Section 3.3.2A of the Zoning Bylaw for the Town of Arlington,
seeking relief from the following specific provisions of the Zoning
Bylaw, and as described fully in the attached form, Special Permit
Criteria: section 8.1.3 (c) Non-conforming
single and two-family dwellings.

The Petitioner/Applicant states he/she/they is/are the owner -
occupant of the land in Arlington located at 49 Magnolia St. #2
with respect to such relief is sought; that no unfavorable action
has been taken by the Zoning Board of Appeals or its predecessors
upon a similar petition regarding this property within the two (2)
years next immediately prior to the filing hereof. The applicant
expressly agrees to full compliance with any and all conditions and
qualifications imposed upon this permission, whether by the Zoning
Bylaw or by the Zoning Board of Appeals, should the same be
granted. The Applicant represents that the grounds for the relief
sought are as follows: To enhance and upgrade the
living spaces in the existing attic such that
adequate bedrooms are provided for the family
of 5 currently living at the above address.
At present, all three children are sharing one
bedroom which is becoming a hardship as they
grow older.

Suddenly press@yahoo.com
E-Mail akatl@9mail.com Signed Ali Kattas Bryan Warrano Date: 6/24/20
Telephone 617 794 3586 Address 49 Magnolia St.
617 794 3524

Special Permit Criteria- The following standards must be addressed and met for the grant of a Special Permit:

1). Indicate where the use requested is listed in the Table of Use Regulations as a Special Permit in the district for which the application is made or is so designated elsewhere in the Arlington Zoning Bylaw.

SECTION 8.1.3(c) Non-conforming single-family and two-family dwellings.

2). Describe how the requested use is essential or desirable to the public convenience or welfare.

The requested use is essential to the livability of the dwelling to the family and their ability to stay in the home they love. It has no effect on the greater public welfare.

3). Describe how the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.

The requested use renovates an existing bedroom floor with no change to either the number of occupants or the number of vehicles used and parked at the property.

4). Describe how the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.

The requested use does not add a larger load to the water, drainage or sewer system. It is a current living space and will continue to be occupied by the same number of occupants.

5). Describe how any special regulations for the use, set forth in Article 11, are fulfilled.

The addition of 2 dormers on the east and west sides of the roof do not adversely limit sun or create shadows in neighboring homes due to the existing density and solar orientation.

6). Describe how the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health, morals, or welfare.

The requested use will entail adding dormers and windows at both sides of the 2-family home. This feature is common in the neighborhood and will blend well with the character of East Arlington housing stock. It will not be detrimental in any way that we can imagine.

7). Describe how the requested use will not, by its addition to a neighborhood, cause an excess of that particular use that could be detrimental to the character of said neighborhood.

The requested use is for renovation of an existing home. The neighborhood is heavily residential (excepting Mass Ave), so this use will not have any negative effect on the character of the neighborhood.

TOWN OF ARLINGTON
Dimensional and Parking Information
For application to The Zoning Board of Appeals

1. Property Location: 49 Magnolia St. Zoning District: R2
2. Present Use/Occupancy: Residential No. of dwelling units (if residential) 2
3. Existing Gross Floor Area (see definition of Gross Floor Area (GFA) in Article 2 of the Town of Arlington Zoning Bylaw and provide supporting documentation (worksheet) showing dimensions of GFA by floor: 3792 sf.
4. Proposed Use/Occupancy: Residential No. of dwelling units (if residential) 2
5. Proposed Gross Floor Area (see definition of Gross Floor Area in Article 2 of the Town of Arlington Zoning Bylaw and provide supporting documentation (worksheet) showing dimensions of GFA by floor: 4220 sf.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (sq. ft.)	4000	no change	min. 6000 sf
7. Frontage (ft.)	40'-0"	No change	min. 60'
8. Floor area ratio	—	—	max. — NA
9. Lot Coverage (%)	45%	45%	max 35%
10. Lot Area per Dwelling Unit (sq. ft.)	na.	na.	min. — NA
11. Front Yard Depth (ft.)	9'-6"	9'-6"	min. 20'
12. Left Side Yard Depth (ft.)	7'-9 1/2"	7'-9 1/2"	min. 10'
13. Right Side Yard Depth (ft.)	5'-9 1/2"	5'-9 1/2"	min. 10'
14. Rear Side Yard Depth (ft.)	44'-0"	44'-0"	min. 20'
15. Height (stories)	2 1/2	2 1/2	max. 2 1/2
16. Height (ft.)	33'-2"	33'-2"	max. 35'-0"
17. Landscaped Open Space (% of GFA) Sq. ft. <u>1476 sf</u>	44 %	34%	min. 10%
18. Usable Open Space (% of GFA) Sq. ft. <u>1602 sf</u>	47 %	37%	min. 30%
19. Parking Spaces (number)	4	4	min. 2
20. Parking area setbacks	na.	na.	min. —
21. Loading Spaces (if applicable)	na.	na.	min. na.
22. Type of construction	wood frame	wood frame	na.

5.4.2

OPEN SPACE/GROSS FLOOR AREA

Refer to Zoning Bylaw Article 2, Definitions and Article 6, Dimensional Regulations

Address 49 Magnolia St. Zoning District R2

OPEN SPACE

	EXISTING	PROPOSED
Total lot area	<u>4,000 sf</u>	<u>4,000 sf</u>
Open Space (Usable)*		
Open Space (Landscaped)	<u>1,602 sf</u>	<u>1,602 sf</u>

*Usable Open Space must be at least 75% open to the sky, free of automotive, traffic and parking, and readily accessible. Open space shall be deemed usable only if: 1) at least 75% of the area has a grade of less than 8% and no horizontal dimension less than 25 feet.

GROSS FLOOR AREA (GFA)

Accessory building	<u>0</u>	<u>0</u>
Basement or cellar (>5' excluding mechanical area)	<u>951 sf.</u>	<u>951 sf.</u>
1 st Floor	<u>1069 sf.</u>	<u>1069 sf.</u>
2 nd Floor	<u>1069 sf.</u>	<u>1069 sf.</u>
3 rd Floor	<u>—</u>	<u>—</u>
4 th Floor	<u>—</u>	<u>—</u>
5 th Floor	<u>—</u>	<u>—</u>
Attic (>7'3" in height, excluding elevator, mechanical)	<u>263 sf.</u>	<u>691 sf.</u>
Parking garages (except as used for accessory Parking garages or off street loading purposes)	<u>440 sf</u>	<u>440 sf</u>
All weather habitable porches and balconies		
Total Gross Floor Area (GFA)	<u>3792 sf.</u>	<u>4220 sf.</u>

REQUIRED MINIMUM OPEN SPACE AREA

Proposed Usable Open Space Percent of GFA	<u>37%</u>
Proposed Landscaped Open Space Percent of GFA	<u>34%</u>

This worksheet applies to plans dated 06.23.20 designed by Stein Lion Design, architectur
Shira Lion, architectural designer (781) 962-4192

Reviewed by Inspectional Services _____ Date: _____



TOWN OF ARLINGTON
DEPARTMENT OF PLANNING and
COMMUNITY DEVELOPMENT

TOWN HALL, 730 MASSACHUSETTS AVENUE
ARLINGTON, MASSACHUSETTS 02476
TELEPHONE 781-316-3090

MEMORANDUM

To: Zoning Board of Appeals
From: Jennifer Raitt, Director, Dept. of Planning and Community Development/kl
Date: 8/20/2020
RE: Docket number unknown – 49 Magnolia St, #2; Special Permit under Section 8.1.3 (B)
(Nonconforming Single-Family or Two-Family Dwellings)

The applicant, whose name cannot be determined from the application materials, seeks a Special Permit in accordance with Section 8.1.3 (B) (Nonconforming Single-Family or Two-Family Dwellings) of the Zoning Bylaw. The applicant seeks to construct an addition of two dormers, one on the east and one on the west side of the attic level of their two-family structure. The addition would increase the total square footage of the structure from 3,792 to 4,220 square feet (+428 square feet).

The addition does not meet the definition of a half story, as per the "Open Space/Gross Floor Area" worksheet, the applicant seeks to increase the total gross floor area (GFA) of the half story greater than seven feet in height to 691 square feet, which is more than half of the finished floor area of 1,069 square feet. Note that page A0.1 of the applicant's architectural drawings show different dimensions than what is provided in the "Open Space/Gross Floor Area" worksheet. There it is indicated that under the proposal, the total floor area of the half story would be 923 square feet, and 455 square feet (49.3%) would be less than seven feet in height.

The property is in the R2 Zoning District, and is nonconforming with the Zoning Bylaw's lot area, frontage, front yard, left side yard, and right side yard requirements. If the dimensions of the proposed half story exceed the dimensional requirements needed to meet the definition of a half story, the addition could create a new nonconformity in the maximum height in stories.

The following is an application of the Special Permit criteria (Zoning Bylaw Section 3.3.3):

Criterion #1: Requested Use

The requested use is permitted in the R2 Zoning District through the granting of a Special Permit if less than one half the floor area measured from the underside of the roof framing to the finished floor below has a clear height of 7 feet 0 inches or more. The applicant has provided conflicting information about the proposed dimensions of the half story.

Criterion #2: Public Convenience/Welfare

The proposal would provide additional living space through the addition of two bedrooms and one bathroom.

Criterion #3: Undue Traffic Congestion/Impairment of Public Safety

There would not be an increase in traffic congestion or an impairment of public safety.

Criterion #4: Undue Burden on Municipal Systems

There would not be an undue burden on municipal systems.

Criterion #5: Special regulations

This proposal would not result in the need for special regulations.

Criterion #6: Integrity/Character of District; Detrimental to Health, Morals, Welfare

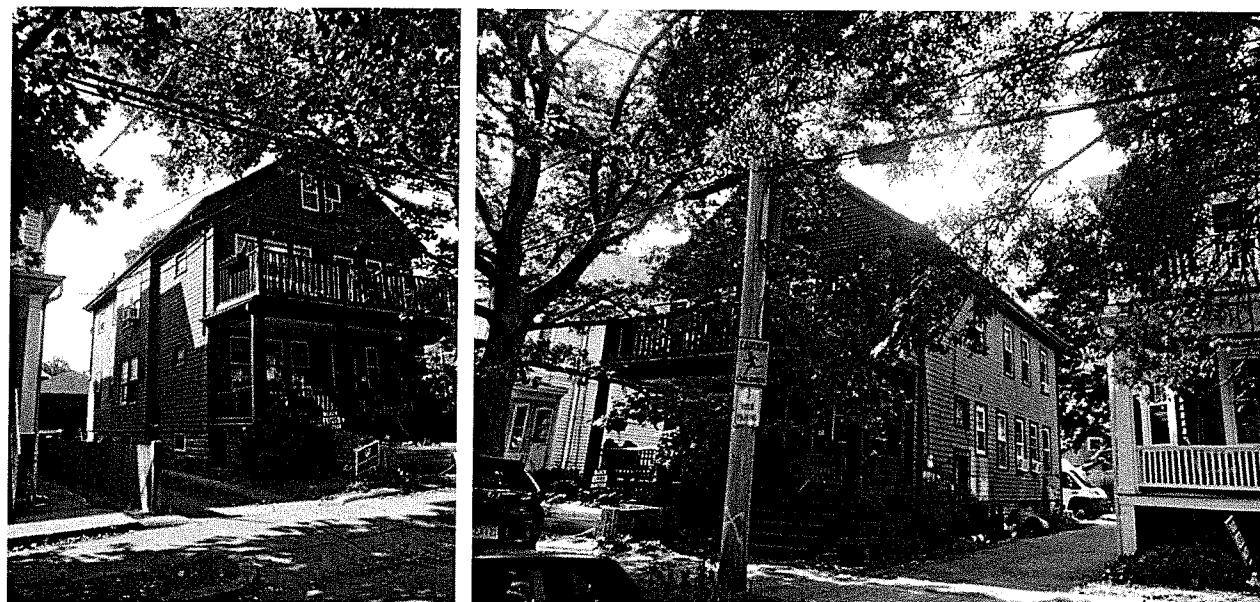
This type of addition is common in the surrounding neighborhood. The proposed design would not detrimentally impact the neighborhood character of the district or adjoining districts, nor will it be detrimental to the health, morals, or welfare of the neighbors of the property.

Criterion #7: Detrimental Excess in Particular Use

This proposal would not cause any detrimental excesses.

Below are aerial and street-view photos of the current building:





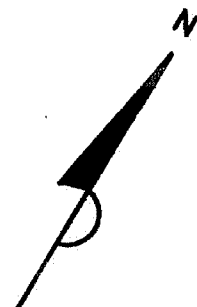
Recommendation:

The Department of Planning and Community Development recommends that the Zoning Board of Appeals requests details regarding the dimensions of the third story of the structure to ensure that the addition meets the Zoning Bylaw's definition of a half story prior to approving this application.

LOT 7
N/F
JOHN LAVELLE &
MARY HANNON

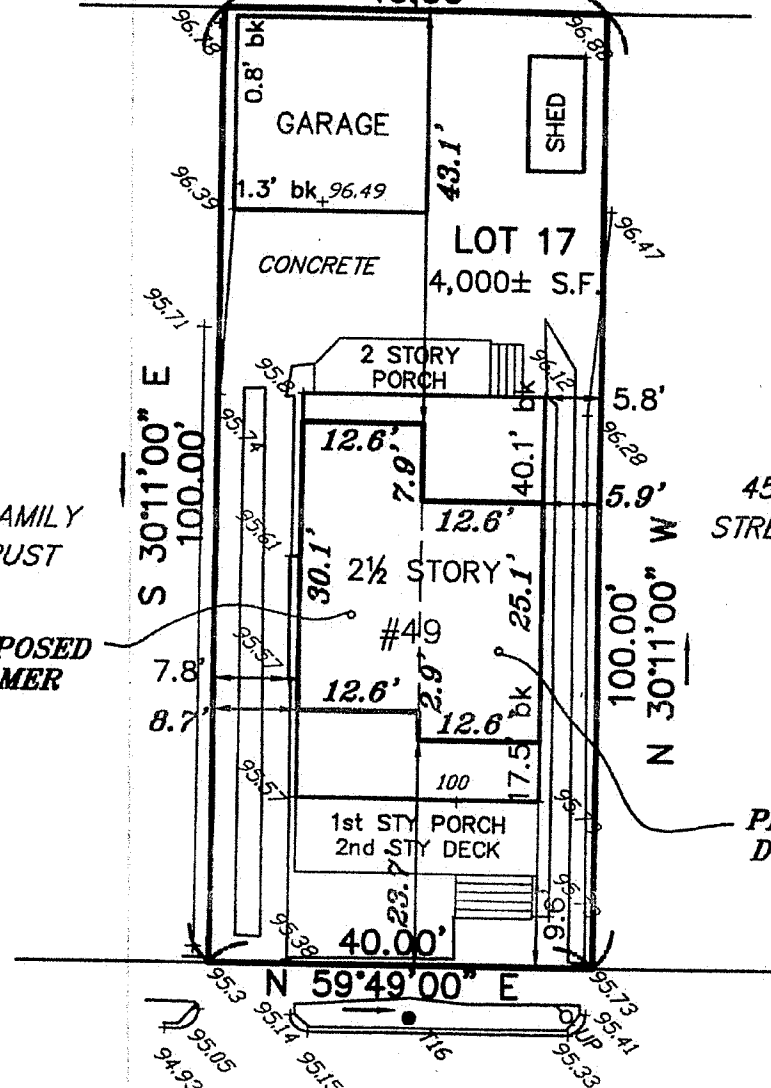
LOT 6
N/F
EMILY ANDRUS &
PATRICK O'LOUGHLIN

S 59°49'00" W
40.00'



LOT 18
N/F
THE MATTHEWS FAMILY
IRREVOCABLE TRUST

PROPOSED
DORMER



PROPOSED
DORMER

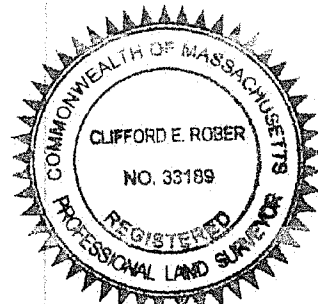
LOT 16
N/F
45-47 MAGNOLIA
STREET CONDOMINIUM

CURB GRADE = 95.1
EXISTING HEIGHT - 34.1
PROPOSED HEIGHT - 34.1

MAGNOLIA STREET

OWNER: ALIA ATLAS & BRIAN YOUNANS

I HEREBY CERTIFY THAT THE BUILDING IS
LOCATED AS SHOWN.



CLIFFORD E. ROBER, PLS

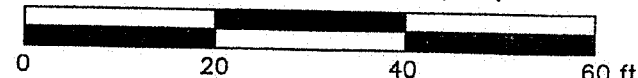
DATE

THIS PLAN MAY HAVE BEEN ALTERED IF
THE SIGNATURE IS NOT SIGNED IN BLUE.

PROPOSED PLOT PLAN
#49 MAGNOLIA STREET

IN
ARLINGTON, MA
(MIDDLESEX COUNTY)

SCALE: 1" = 20' DATE: 5/29/2020



ROBER SURVEY
1072A MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
6156PP1.DWG

GENERAL NOTES

GENERAL

1. Refer to Architectural, Mechanical, and Electrical drawings, approved shop drawings for location and dimensions of chases, reglets, inserts, openings, sleeves, depressions, and requirements for attachment of finishes.
2. All construction work shall comply with the Commonwealth of Massachusetts State Building Code. 9TH EDITION

FOUNDATION

1. All footings shall be carried down 6" into the undisturbed bearing layer having a minimum bearing capacity of 2.0 tons per square foot.
2. No footing shall be placed in water.
3. All footing excavations shall be finished by hand.

CAST IN PLACE CONCRETE AND REINFORCING

1. All concrete work shall comply with the standard "Specifications for Structural Concrete Buildings" ACI 301 and the "Building Code Requirements for Reinforced Concrete" ACI 318 latest Editions.
2. All concrete shall have a 3,000-PSI minimum 28-day compressive strength except 4,000 PSI strength at concrete exposed to weather and slabs on grade.
3. Controlled concrete shall be used, proportioned, mixed and placed under the supervision of a qualified Concrete Control Engineer.
4. All reinforcing bar detailing shall be as specified in the American Concrete Institute "Manual of Standard Practice for Detailing Reinforced Concrete Structures" ACI 315, amended to date.
5. All reinforcing steel except as otherwise noted shall be ASTM A516 Billet Steel deformed bars grade 60.
6. All horizontal reinforcing at walls shall be carried out around corners and lapped 36 diameters.

STRUCTURAL STEEL

1. Structural steel design, materials and workmanship shall conform to the requirements of AISC "Specification for the Design, Fabrication and Erection of Structural Steel Buildings" latest edition.
2. Structural steel shall be new structural carbon steel conforming to the following ASTM designation:

- A. ASTM A990 FOR ROLLED SHAPES AND PLATES
- B. ASTM A53 for steel pipes

3. All bolted connections shall be high strength conforming to:

- ASTM A325N bolts for all steel to steel connections.
 - A307 bolts for wood to steel and steel to concrete or masonry connections.
- The minimum number of bolts per connection shall be two.

4. ALL STEEL SHALL RECEIVE 2 COATS OF ZINC RICH PAINT

CARPENTRY

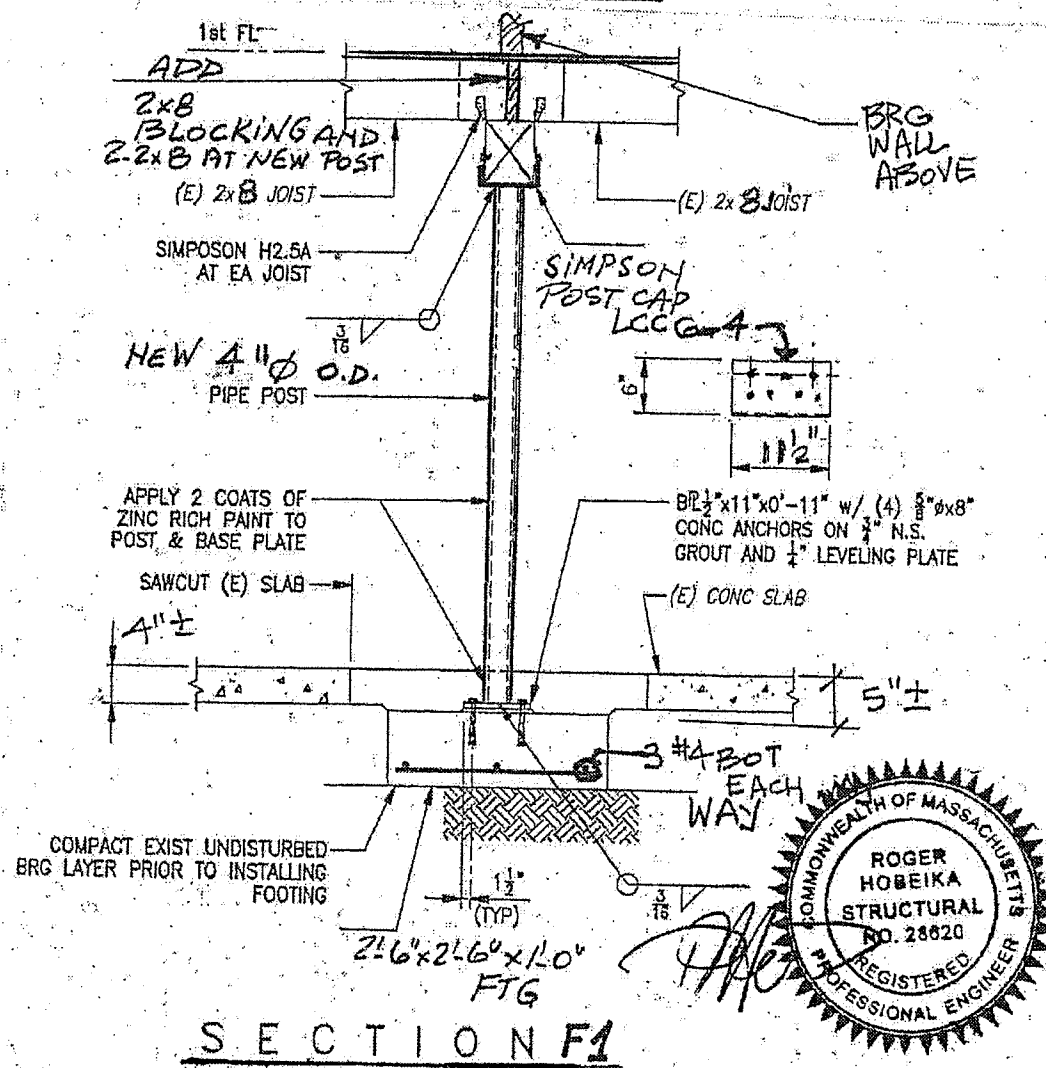
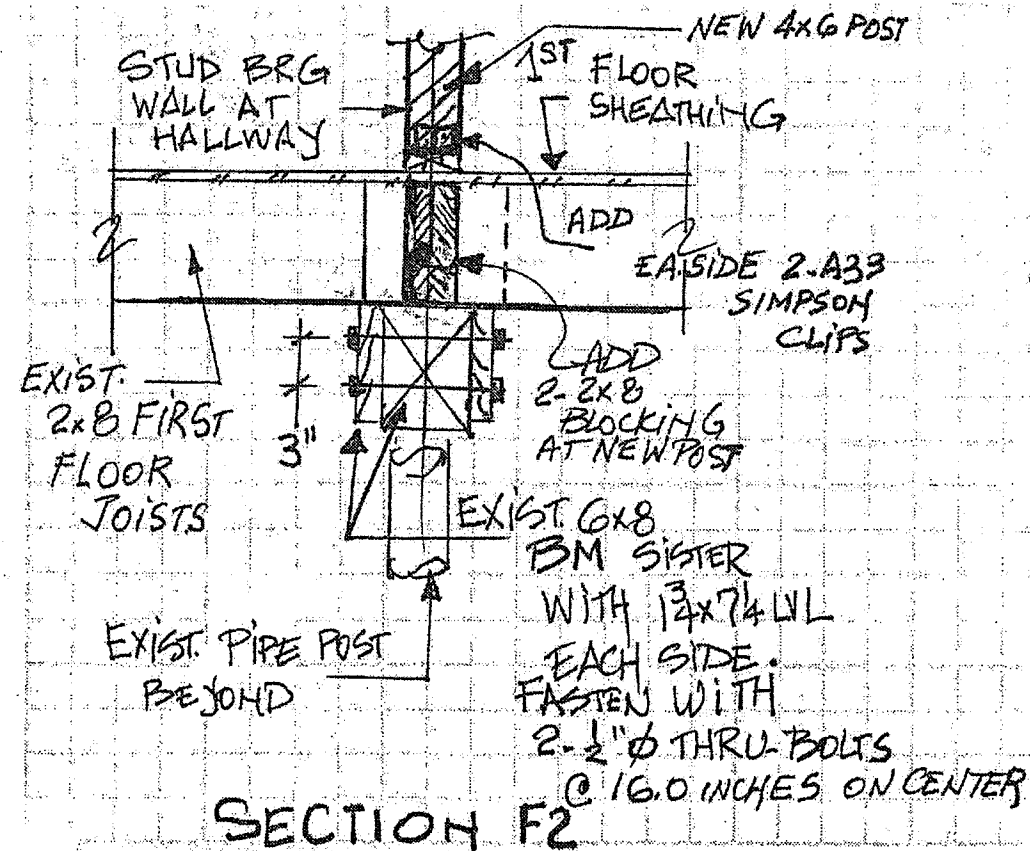
1. All wood members to be used for new framing shall be new material and of material specified in the following notes.
2. All new lumber and plywood must have a grade stamp from the associations having jurisdiction which indicates specie, mill number, moisture content when surfaced, and grade or stress rating.
3. New dimension lumber shall be SPF No. 2 or better, surface dry with a maximum content of 15% at time of dressing.
4. Micro-lam shall be laminated veneer lumber item, and then bonded together by heat with pressure applied.

Design Properties

E=2.0 x 10⁶ PSI
FB=2800 PSI
FV=285 PSI

DESIGN LOADS

1. Roof Dwelling Areas 30 PSF + Allowance for snow drifting
40 PSF



Roger Hobeika
Associates Inc.
Structural Engineers

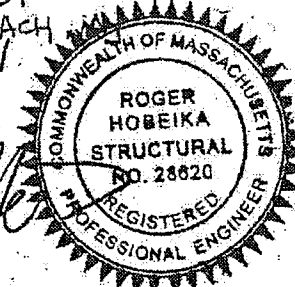
85 Main Street
Watertown
Massachusetts
02172

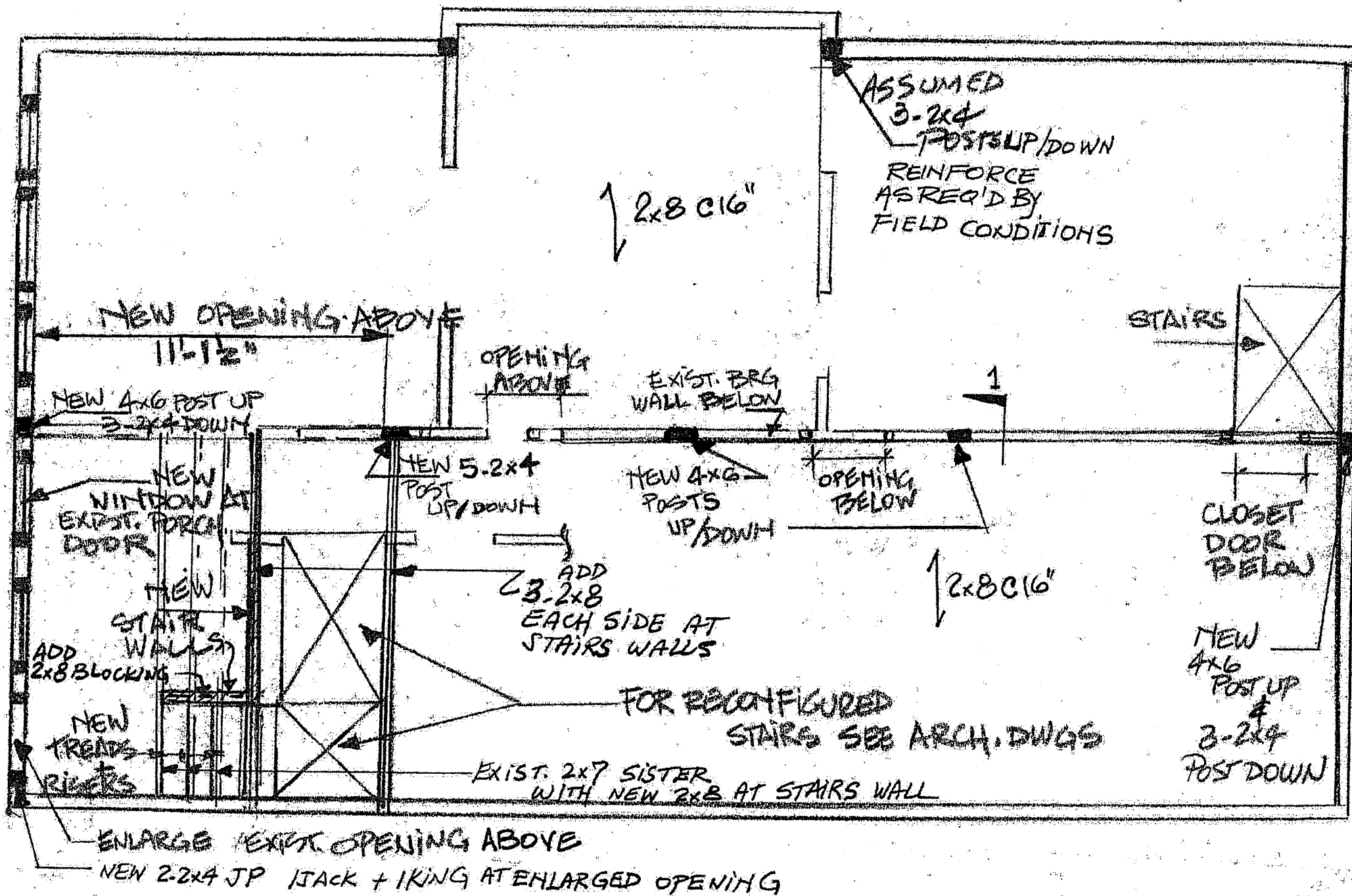
Telephone
617.924.5257
Fax
617.924.1481

Scale:
Date: 1-29-20

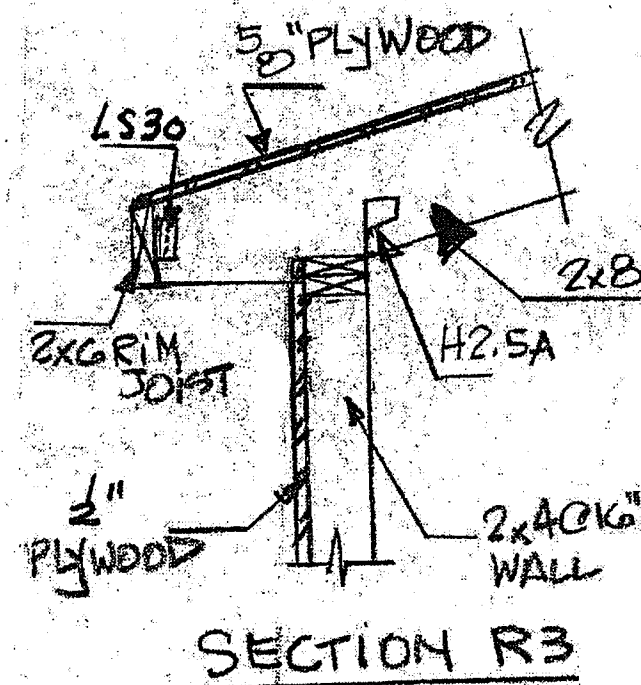
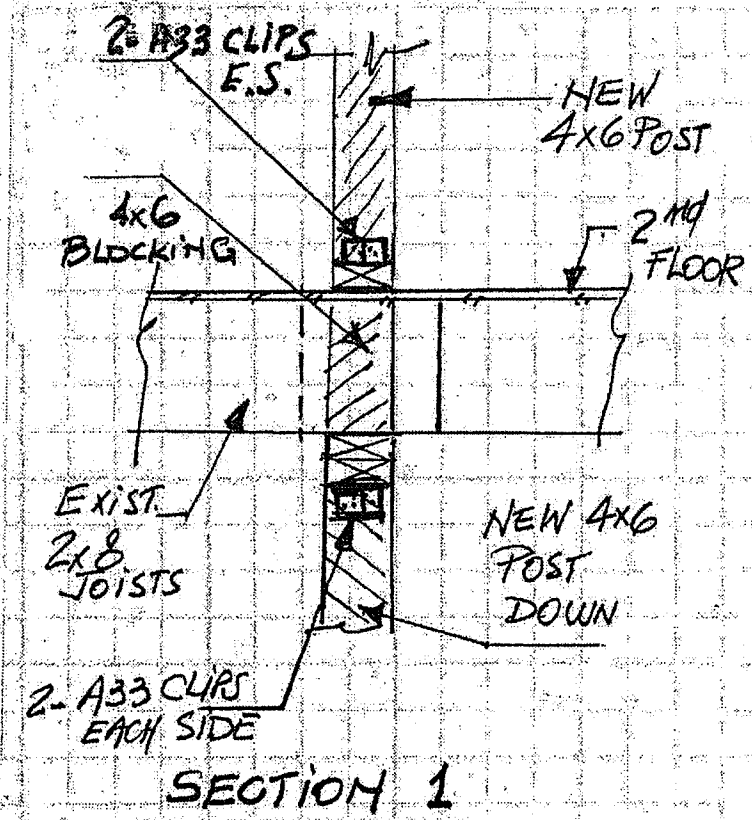
49 MAGNOLIA ST ARLINGTON MA
NEW DORMERS CONSTRUCTION

S-OB





SECOND FLOOR FRAMING PLAN



Roger Hobeika
 Associates Inc.
 Structural Engineers

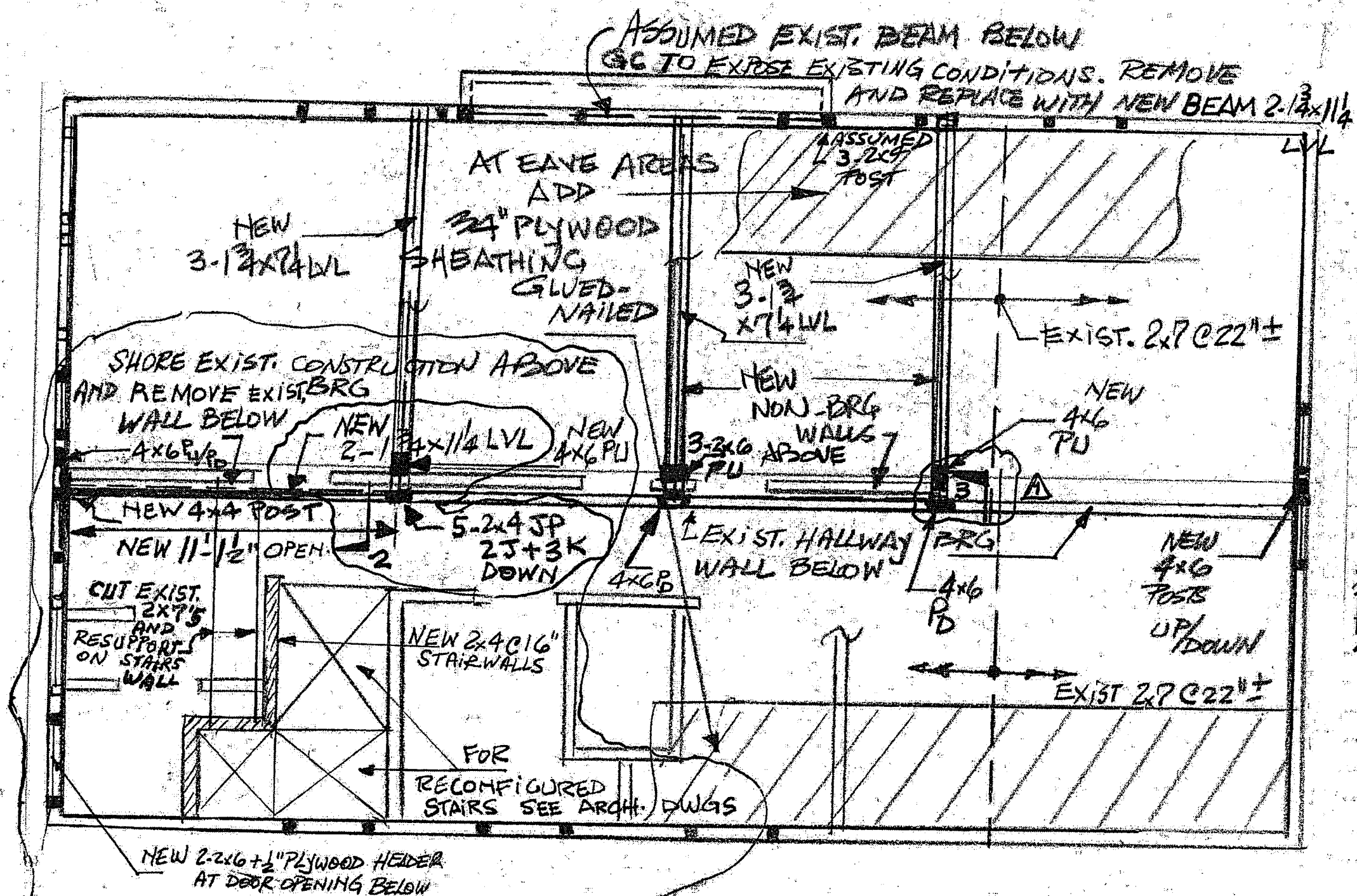
85 Main Street
 Watertown
 Massachusetts
 02172

Telephone
 617.924.5257
 Fax
 617.924.1481

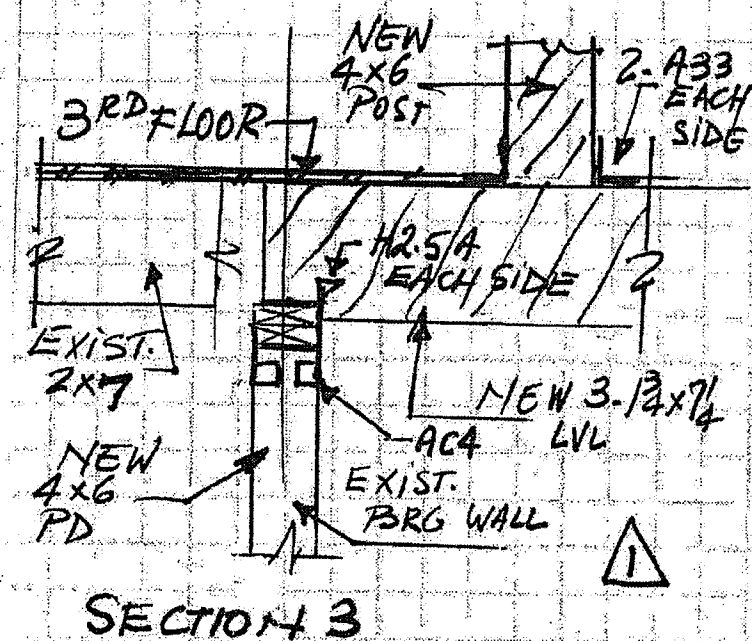
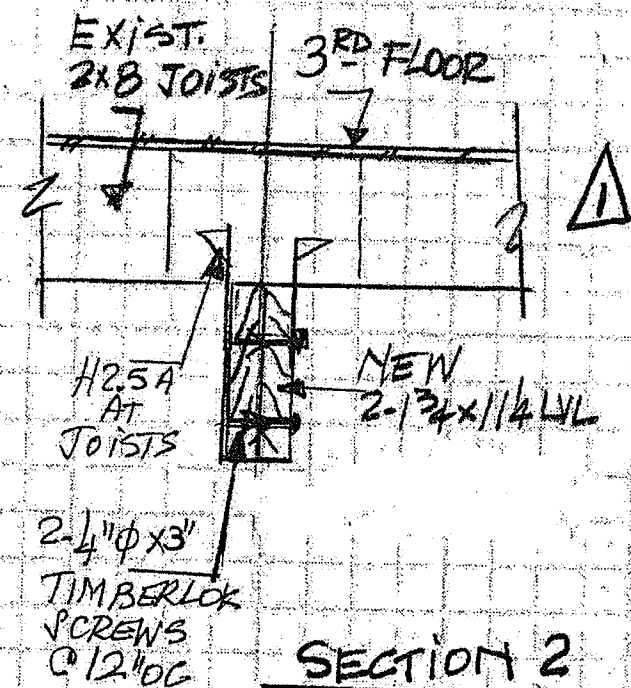
Scale:
 Date: 1-29-20

49 MAGNOLIA ST ARLINGTON MA
 NEW DORMERS CONSTRUCTION

S-00



△ THIRD FLOOR FRAMING PLAN



Roger Hobeika
Associates Inc.
Structural Engineers

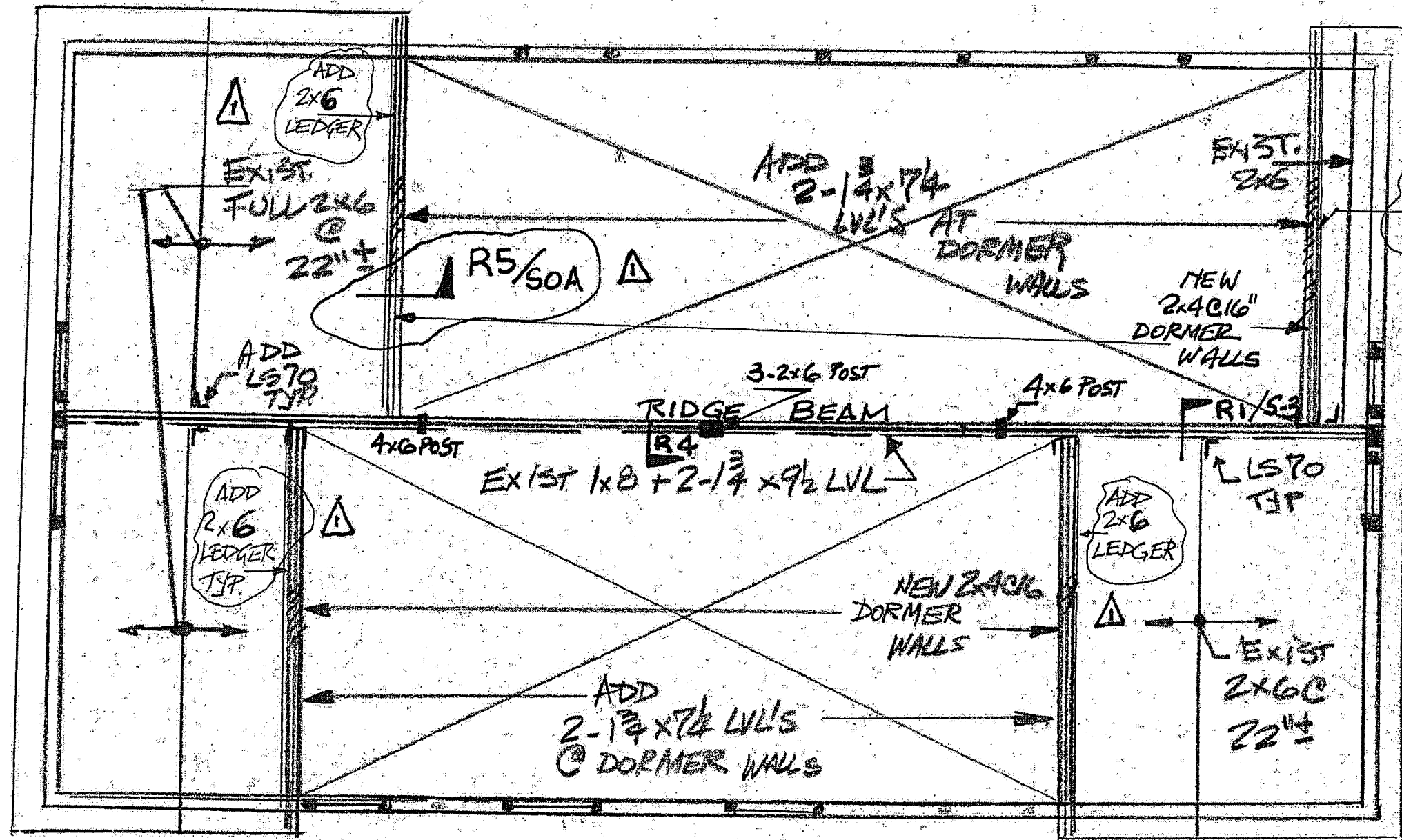
85 Main Street
Watertown
Massachusetts
02172

Telephone
617.924.5257
Fax
617.924.1481

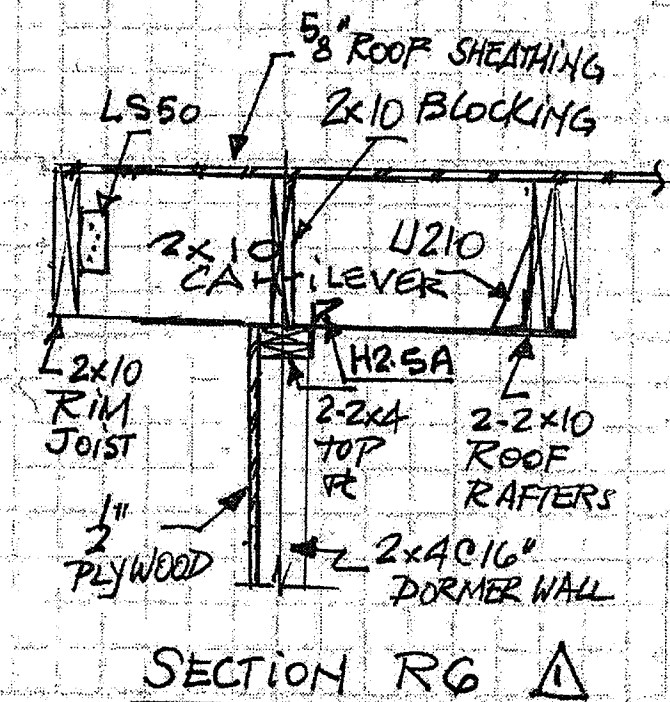
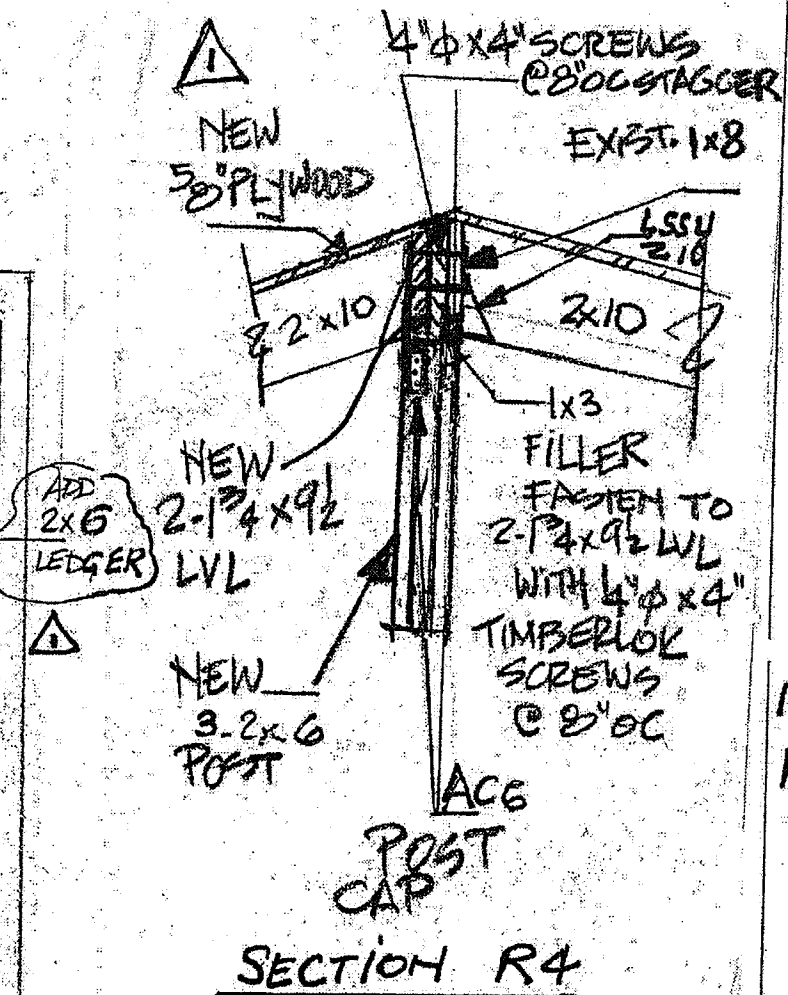
Scale:
Date:
1-16-20
1.29.20

49 MAGNOLIA STREET
ARLINGTON MA.
NEW DORMERS CONSTRUCTION

S-1



ROOF FRAMING PLAN AT REMAINING EXIST. ROOF



Roger Hobeika
Associates Inc.
Structural Engineers

85 Main Street
Watertown
Massachusetts
02172

Telephone
617.924.5257
Fax
617.924.1481

Scale:
Date:

1-16-20

1-29-20

△

49 MAGNOLIA ST
ARLINGTON MA.
NEW DORMERS CONSTRUCTION

S-2

ABBREVIATIONS

ABV: above
B.O.: by owner
CAB: cabinet
CLG: ceiling
CTR: center
CL.: centerline
DEMO: demolition
DIA: diameter
DN: down
DR: door
DWG: drawing
EXTG: existing
EXT: exterior
FIN: finish
FP.: fireplace

FLR: floor
GWB: gypsum wall board
HDWD: hardwood
HT: height
N.I.C.: not in contract
N.: new
PTD: painted
RM: room
TBD: to be determined
TYP.: typical
UON: unless otherwise noted
VIF: verify in field
WD: wood
WDW: window

GENERAL NOTES

ALL DIMENSIONS SHOWN ARE FROM FINISH FACE OF WALL, FACE OF STUD OR CENTERLINE OF COLUMN UNLESS OTHERWISE NOTED (UON).

ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL AND STATE CODES AND REQUIREMENTS.

THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE WORK PRIOR TO STARTING CONSTRUCTION, SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECTURAL DESIGNER FOR RESOLUTION BEFORE BEGINNING WORK.

UNLESS SPECIFICALLY SHOWN OR NOTED ON THE DRAWINGS, NO STRUCTURAL MEMBER SHALL BE CUT, BORED OR MODIFIED WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER OF RECORD.

INSULATION SHALL BE FURNISHED AS FOLLOWS:

R-21 SPRAY FOAM INSULATION AT ALL NEW (2X4) WALLS, OR OPENED EXISTING WALLS THAT REVEAL NO PRIOR INSULATION
R-49 AT 3RD FLOOR CEILING, OPEN CELL SPRAY FOAM

MECHANICAL, ELECTRICAL, FIRE PROTECTION & PLUMBING

-CHIMNEY SHALL BE REMOVED AT THIRD FLOOR AND CAPPED AT 3RD FLOOR FRAMING (SEE STRUCTURAL DRAWINGS).
-EXISTING HOT WATER HEATERS IN BASEMENT SHALL BE DIRECT VENTED TO EXTERIOR.
-ADD NEW AIR SOURCE HEAT PUMP SYSTEM FOR HEATING AND COOLING THE THIRD FLOOR; CEILING CASSETTES IN EACH BEDROOM;
-ADD SINGLE DUCTLESS HEAT PUMP UNIT AT 2ND FLOOR OFFICE.
-LOCATION OF EXTERIOR CONDENSING UNITS TBD. BY HVAC SUBCONTRACTOR IN COORDINATION WITH GC.
-INSTALL NEW ELECTRIC TANKLESS HOT WATER HEATER ON WALL OF LAUNDRY ROOM, SERVICING ALL PLUMBING AT THIRD FLOOR.
-THIRD FLOOR BATHROOM AND MASTER WC. TO HAVE RADIANT FLOOR HEAT.
-ADD NEW SUBPANEL FOR ELECTRICAL AT THIRD FLOOR, LOCATION IN HALLWAY TBD.
-FURNISH HARDWIRED CARBON MONOXIDE AND SMOKE DETECTORS AS REQUIRED BY RESIDENTIAL FIRE CODE-ADHEREING TO REQUIRED QUANTITY AND LOCATION OF DETECTORS.

DRAWING LIST

- A1.1 DEMOLITION PLAN, SECOND FLOOR
- A1.2 DEMOLITION PLAN, 3RD (ATTIC) FLOOR
- A1.3 EXISTING EXTERIOR ELEVATIONS
- A2.1 PROPOSED 2ND FLOOR PLAN
- A2.2 PROPOSED 3RD FLOOR PLAN
- A2.3 PROPOSED ROOF PLAN
- A2.4 SCHEDULES: FINISH/WINDOW/DOOR
- A3.1 PROPOSED EXTERIOR ELEVATIONS
- A3.2 SECTIONS
- A5.1 WALL SECTION
- S-1 THIRD FLOOR FRAMING PLAN
- S-2 ROOF FRAMING PLAN AT REMAINING EXTG. ROOF
- S-3 ROOF FRAMING PLAN AT NEW DORMERS; SECTIONS
- S-0A FOUNDATION & FIRST FLOOR PLAN
- S-0B GENERAL NOTES & SECTION F1
- S-0C SECOND FLOOR FRAMING PLAN; SECTIONS

STEIN
LION
DESIGN
781.962.4192
shiralion@gmail.com

Atlas Youmans
RESIDENCE
49 Magnolia Street
Arlington, MA

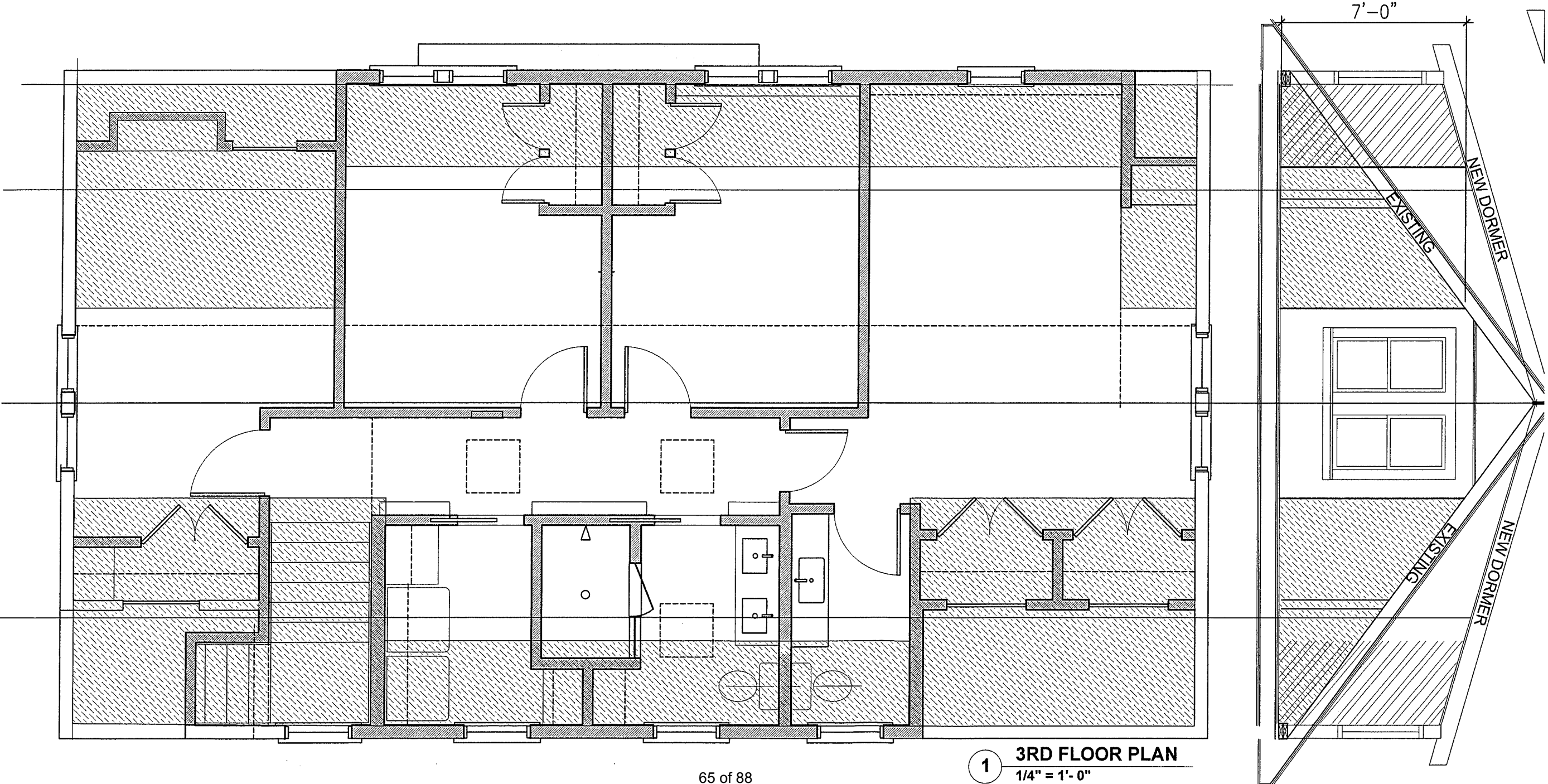
DATE: 02.12.20

PERMIT
SET

A0.0

ZONING LEGEND

49 MAGNOLIA STREET; PARCEL ID#3-5-19; 2ND FLOOR UNIT			
ZONING: R2- RESIDENTIAL SINGLE AND 2-FAMILY DWELLINGS			
	REQUIRED	PROPOSED	COMPLIANCE
MAX. HEIGHT:	35'-2 1/2"-STORY	34'-3" / 2 1/2"-STORY	YES
MIN. AREA	6,000 SF.	NO CHANGE	EXISTING CONFORMING
MIN. FRONTAGE:	60 SF.	NO CHANGE	EXISTING NON-CONFORMING
MAX. LOT COVERAGE:	65%	NO CHANGE	EXISTING NON-CONFORMING
FAR:	0.75		
SEC. R305, CEILING IN ATTIC: NOT MORE THAN 50% AREA UNDER 5'-0";		86.4 SF. BELOW 5'-0", = 8.6% OF AREA	YES
49% OF FLOOR AREA MUST BE LESS THAN 7'-0"		FLOOR AREA= 923 SF. 49% OF 923= 452 SF. ACTUAL ATTIC AREA LESS THAN 7'-0"= 455 SF.	NO (3 SF. DIFF.)
50% AREA MUST NOT BE LESS THAN 7'-0"		50% OF 923= 461.5 SF ACTUAL ATTIC AREA GREATER THAN 7'-0" = 565 SF.	YES



1 3RD FLOOR PLAN
1/4" = 1'- 0"

STEIN
LION
DESIGN
781.962.4192
shiralion@gmail.com

Atlas Youmans
RESIDENCE
49 Magnolia Street
Arlington, MA

DATE: 10.28.19 DD
12.16.19 REV
02.12.20 PERMIT

ZONING
NOTES



A0.1

DEMOLITION LEGEND & NOTES

- LEGEND:
- EXISTING WALL

WALL TO BE REMOVED

① REMOVE DOOR (1* = SAVE FOR REUSE IN OTHER LOCATION)

② REMOVE WINDOW, CASING, SILL, APRON

③ REMOVE WALL

④ REMOVE CHIMNEY, SAVE WHOLE BRICKS FOR LANDSCAPE USE, B.O.

⑤ REMOVE FLOORING

⑥ REMOVE PLUMBING FIXTURE

⑦ REMOVE EXISTING MECHANICAL EQUIPMENT

⑧ DISCONNECT EXISTING APPLIANCE FOR REUSE; STORE TEMPORARILY

⑨ REMOVE EXISTING CEILING DOWN TO STRAPPING OR TO FRAMING AS REQUIRED

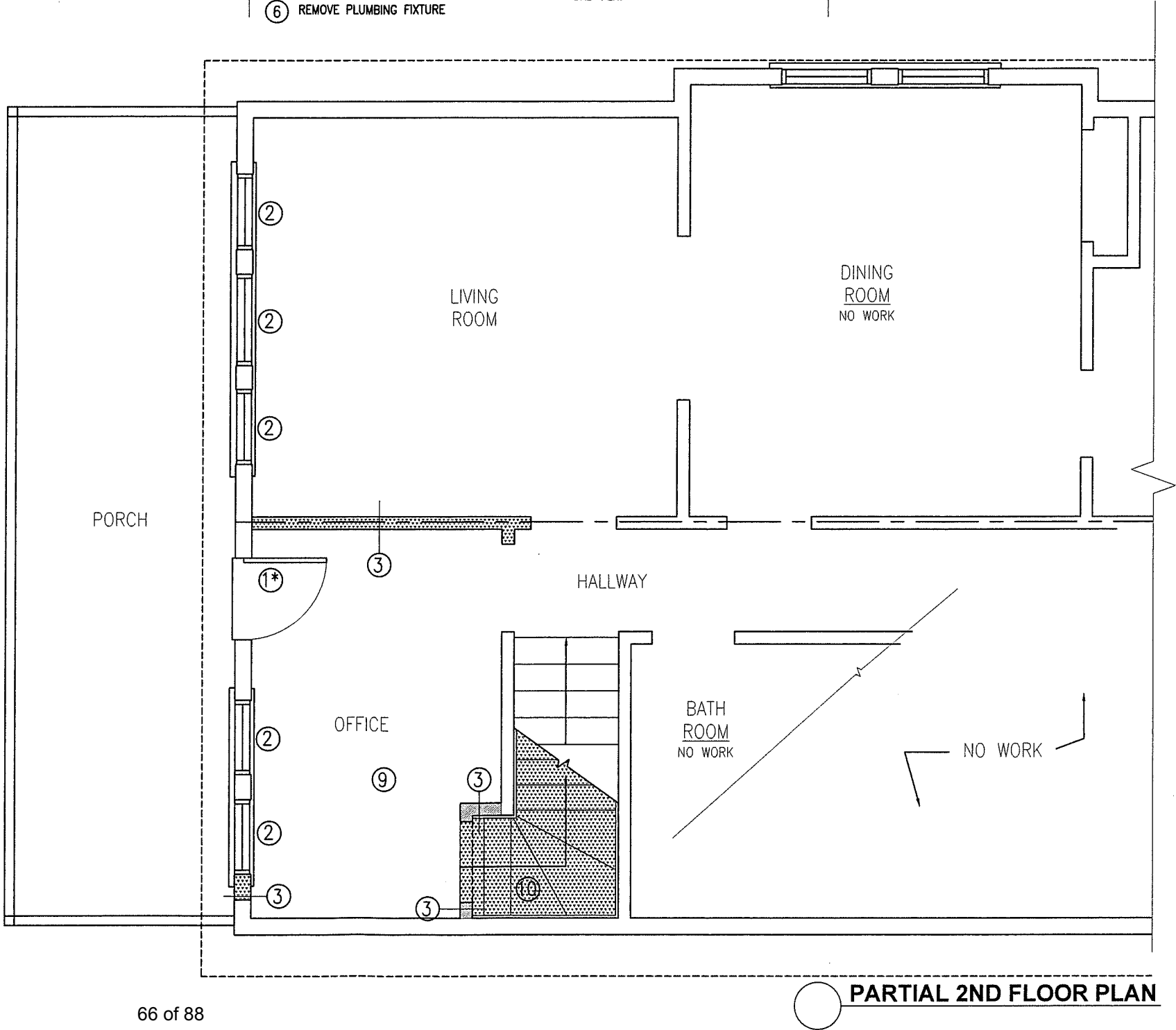
⑩ REMOVE STAIRS TO 3RD FLOOR, AS INDICATED

⑪ REMOVE FINISH FLOORING THROUGHOUT 3RD FLR.

GENERAL NOTES:

CONTRACTOR SHALL RELOCATE ALL ELECTRICAL, PLUMBING AND HVAC. AS REQUIRED BY DEMOLITION. ALL WORK SHALL CONFORM TO CODE REQUIREMENTS.

REMOVE ENTIRE ROOF- SHINGLES, SHEATHING, FRAMING AND FINISH CEILING.
SEE STRUCTURAL NOTES AND DRAWINGS FOR ADDITIONAL STRUCTURAL RELATED DEMOLITION.



PARTIAL 2ND FLOOR PLAN

STEIN
LION
DESIGN
781.962.4192
shiralion@gmail.com

Atlas Youmans
RESIDENCE
49 Magnolia Street
Arlington, MA



DATE: 10.28.19 DD
12.16.19 REV
02.12.20 PERMIT
SCALE: 1/4" = 1'-0"

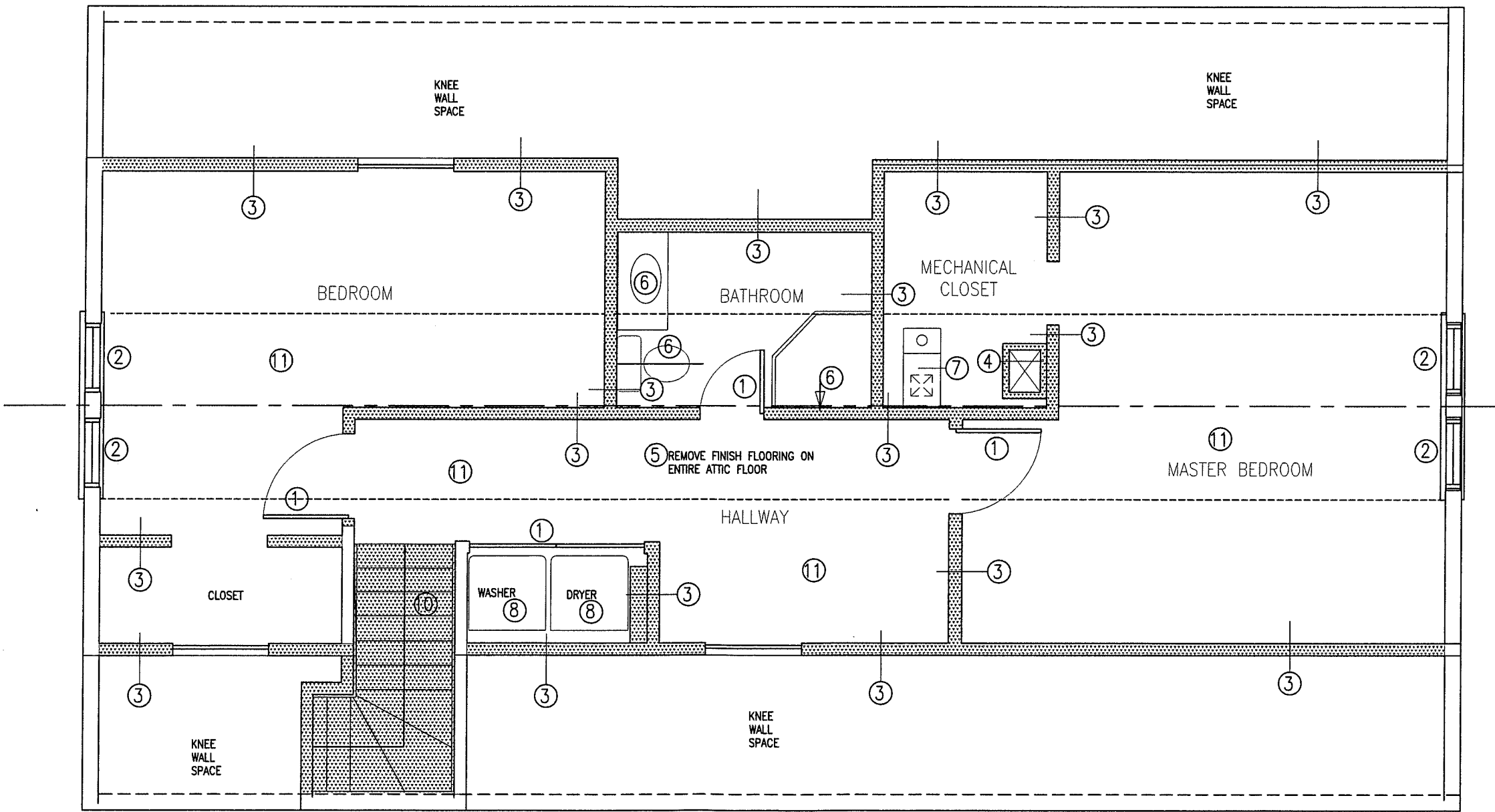
SECOND
FLOOR
DEMOLITION
PLAN



A1.1

DEMOLITION LEGEND & NOTES

LEGEND:		GENERAL NOTES:
	EXISTING WALL	CONTRACTOR SHALL RELOCATE ALL ELECTRICAL, PLUMBING AND HVAC. AS REQUIRED BY DEMOLITION. ALL WORK SHALL CONFORM TO CODE REQUIREMENTS.
	WALL TO BE REMOVED	
①	REMOVE DOOR (1* = SAVE FOR REUSE IN OTHER LOCATION)	REMOVE ENTIRE ROOF- SHINGLES, SHEATHING, FRAMING AND FINISH CEILING. SEE STRUCTURAL NOTES AND DRAWINGS FOR ADDITIONAL STRUCTURAL RELATED DEMOLITION.
②	REMOVE WINDOW, CASING, SILL, APRON	
③	REMOVE WALL	
④	REMOVE CHIMNEY, SAVE WHOLE BRICKS FOR LANDSCAPE USE, B.O.	
⑤	REMOVE FLOORING	
⑥	REMOVE PLUMBING FIXTURE	
⑦	REMOVE EXISTING MECHANICAL EQUIPMENT	
⑧	DISCONNECT EXISTING APPLIANCE FOR REUSE; STORE TEMPORARILY	
⑨	REMOVE EXISTING CEILING DOWN TO STRAPPING OR TO FRAMING AS REQUIRED	
⑩	REMOVE STAIRS TO 3RD FLOOR, AS INDICATED	
⑪	REMOVE FINISH FLOORING THROUGHOUT 3RD FLR.	



3RD FLOOR (ATTIC) PLAN

STEIN
LION
DESIGN
781.962.4192
shiralion@gmail.com

Atlas Youmans
RESIDENCE
49 Magnolia Street
Arlington, MA

DATE: 06.25.19 SD
10.28.19 DD
02.12.20 PERMIT
SCALE: 1/4" = 1'-0"

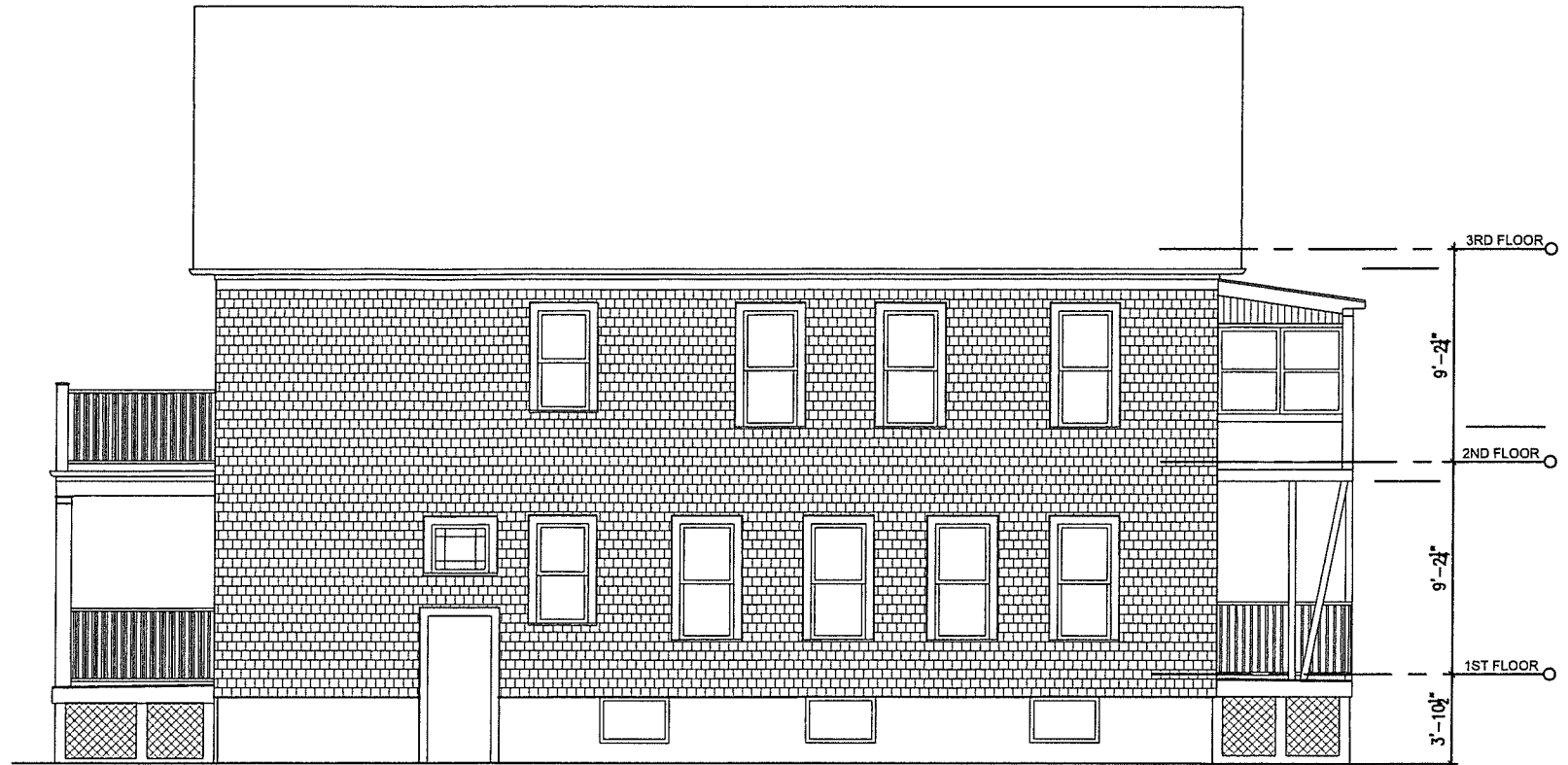
THIRD
FLOOR
DEMOLITION
PLAN



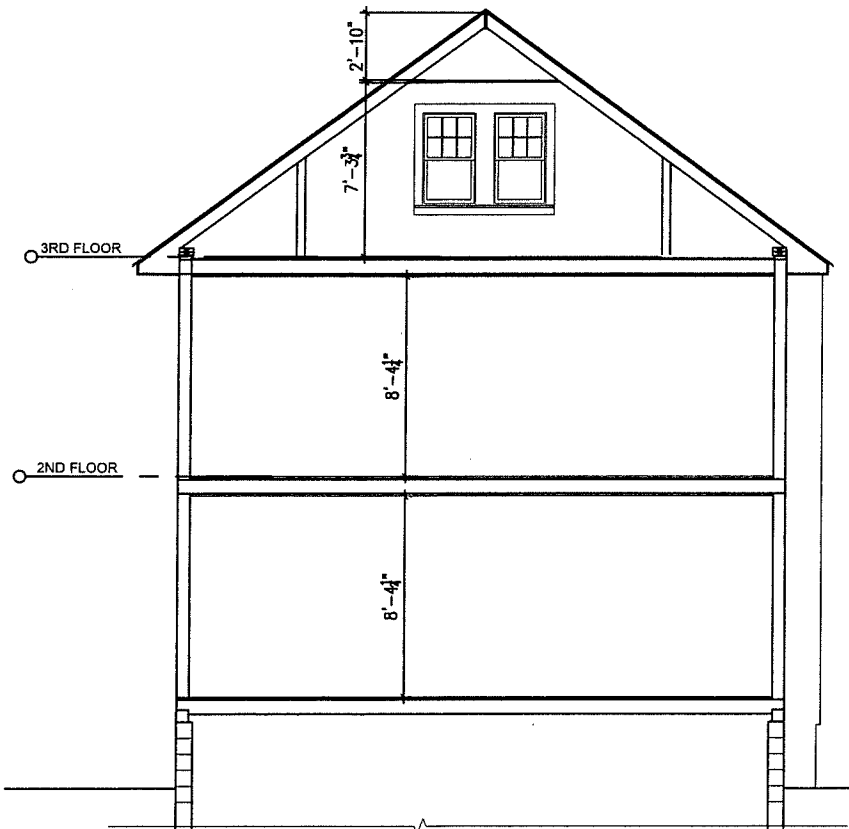
A1.2



③ **EAST ELEVATION**
1/8" = 1'-0"



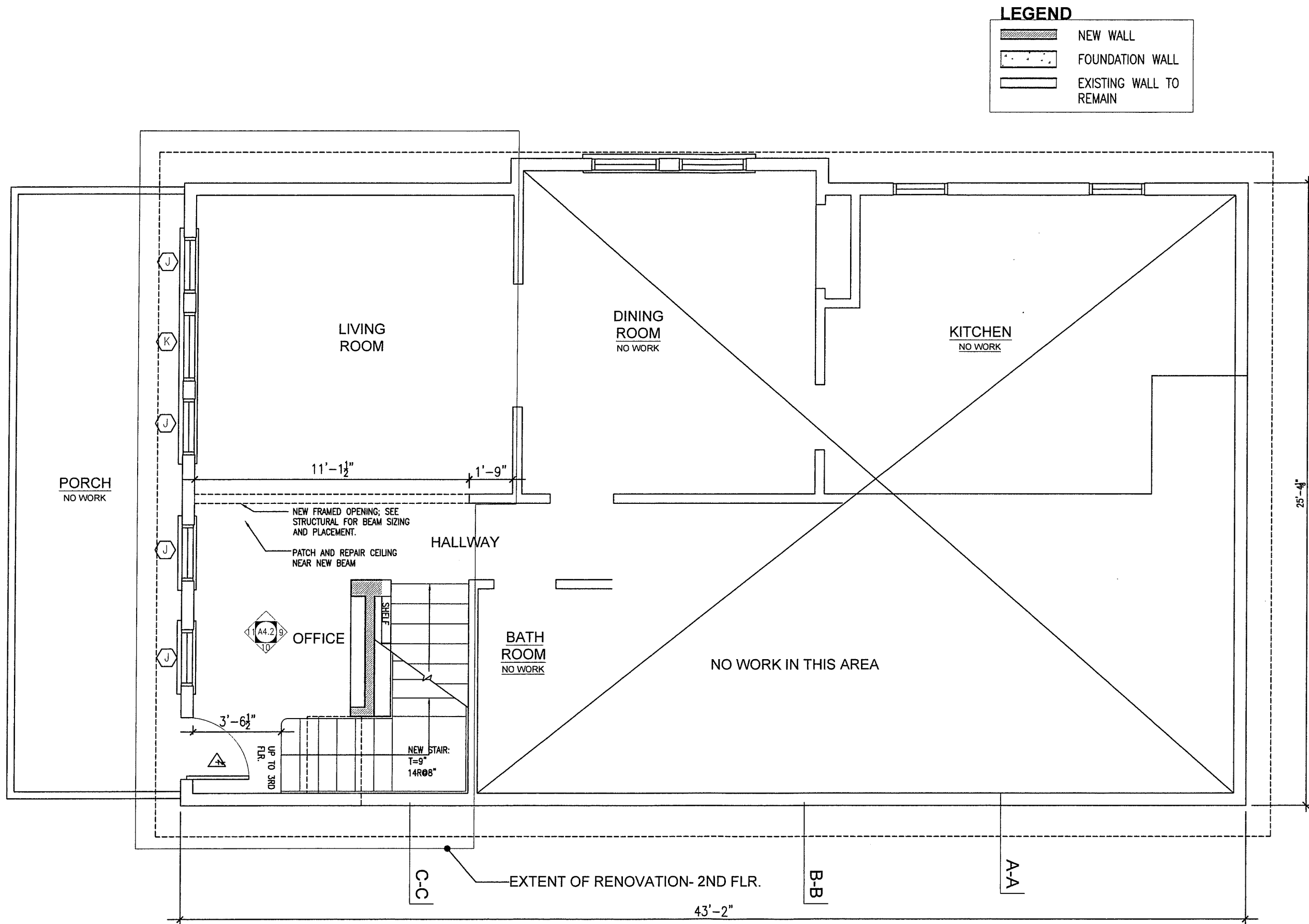
② **NORTH ELEVATION**
1/8" = 1'-0"



④ **BUILDING SECTION**
1/8" = 1'-0"



① **SOUTH ELEVATION**
1/8" = 1'-0"



LEGEND

	NEW WALL
	FOUNDATION WALL
	EXISTING WALL TO REMAIN

STEIN
LION
DESIGN
781.962.4192
shiralion@gmail.com

Atlas Youmans
RESIDENCE
49 Magnolia Street
Arlington, MA

DATE: 10.28.19 DD
12.16.19 REV
02.12.20 PERMIT

**PROPOSED
SECOND
FLOOR
PLAN**

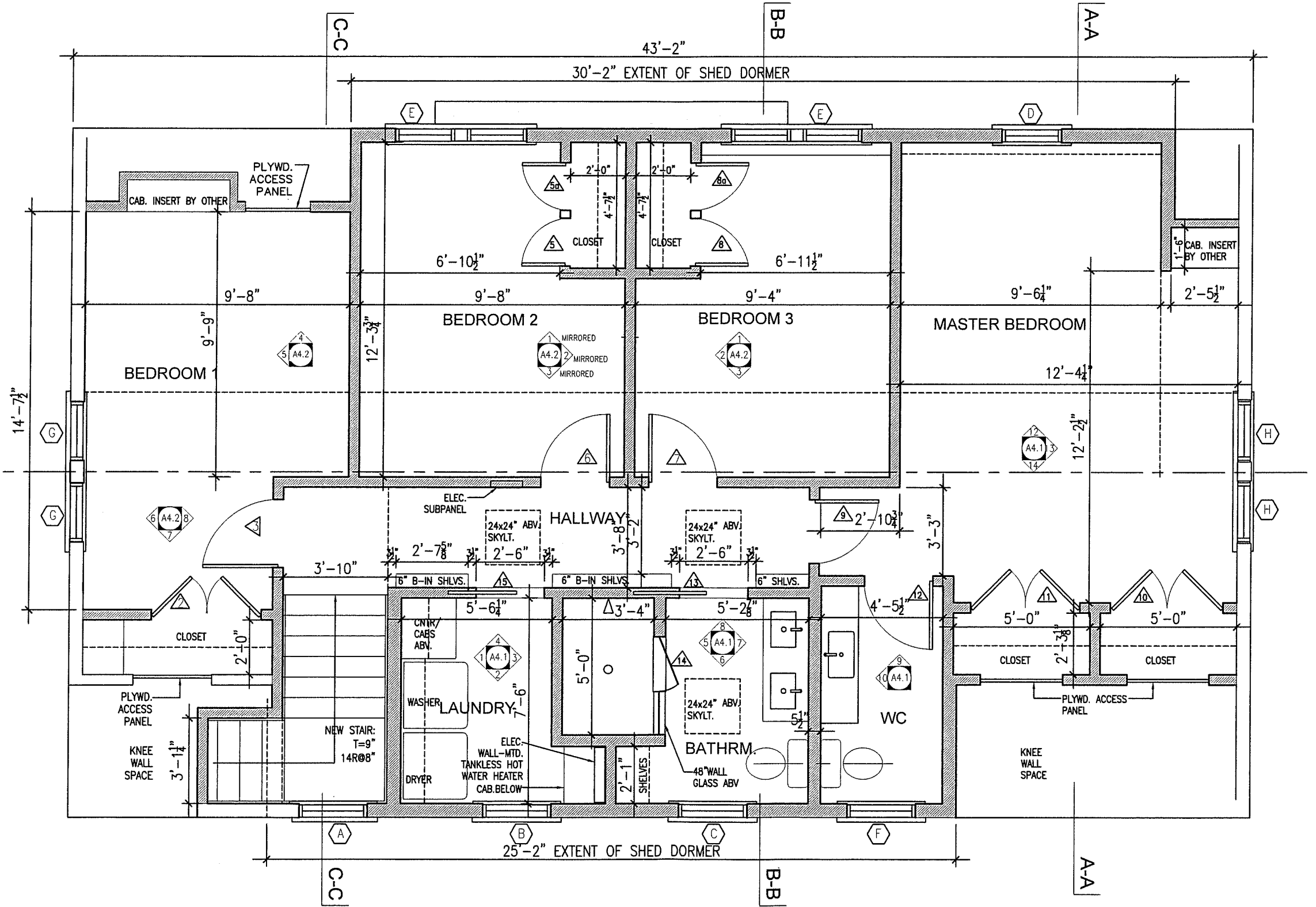


A2.1

1 2ND FLOOR PLAN
1/4" = 1'-0"

LEGEND

- NEW WALL
- FOUNDATION WALL
- EXISTING WALL TO REMAIN



STEIN
LION
DESIGN
781.962.4192
shiralion@gmail.com

Atlas Youmans
RESIDENCE
49 Magnolia Street
Arlington, MA

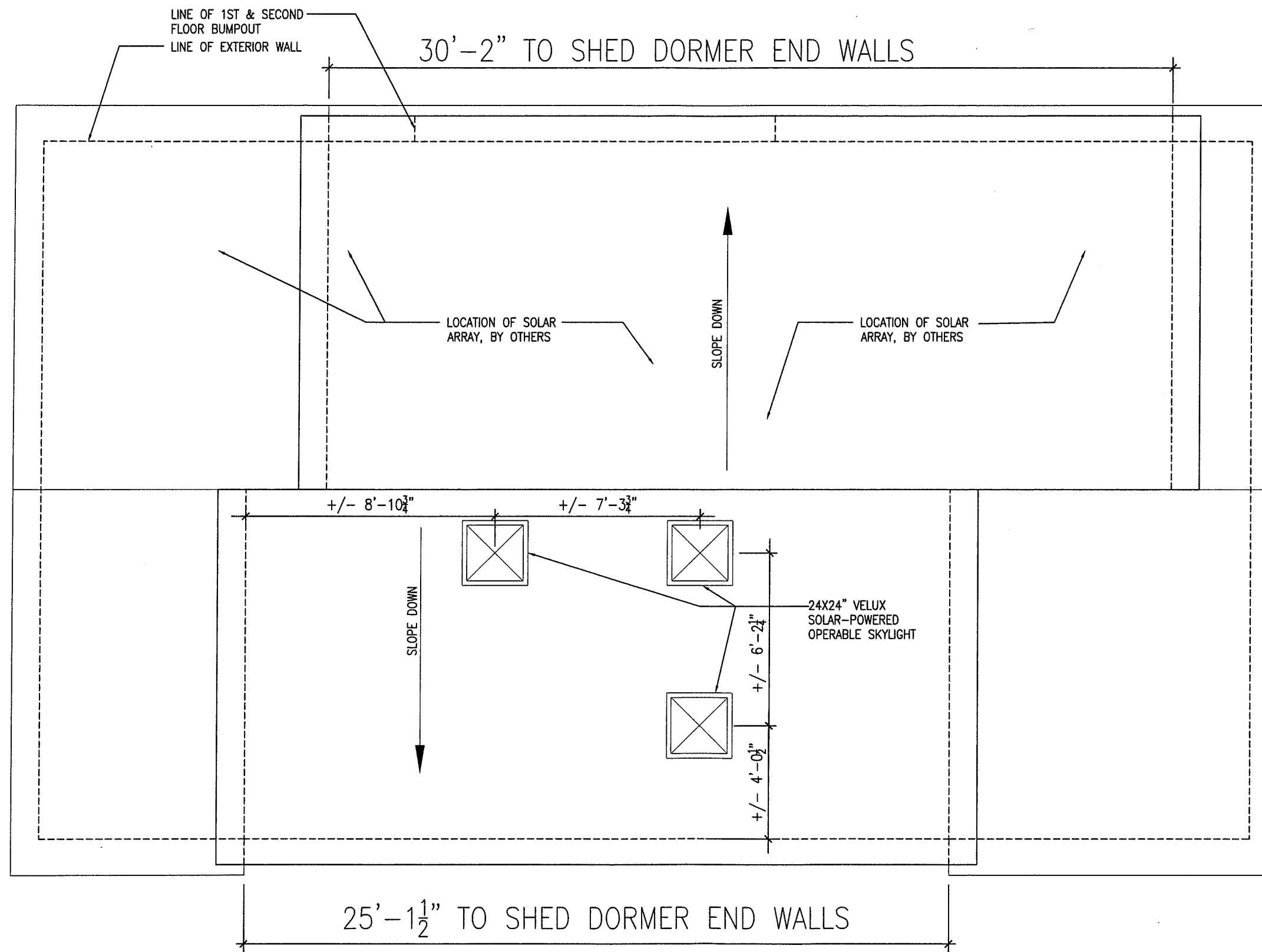
DATE: 10.28.19 DD
12.16.19 REV
02.12.20 PERMIT

PROPOSED
THIRD
FLOOR
PLAN



A2.2

1 3RD FLOOR PLAN
1/4" = 1'- 0"



WINDOW SCHEDULE

NO.	LOCATION	QUANT	TYPE	UNIT SIZE	R.O.	NOTES
A	STAIRS	1	PICTURE	2'-6" x 2'-10"	2'-6½" x 2'-10½"	
B	LAUNDRY	1	AWNING	2'-6" x 2'-10"	2'-6½" x 2'-10½"	
C	BATHROOM	1	AWNING	2'-6" x 2'-10"	2'-6½" x 2'-10½"	glass pattern, tbd.
D	MASTER BEDROOM	1	DBL. HUNG	2'-2" x 3'-5½"	2'-2½" x 3'-6"	
E	BEDROOM 2, BEDROOM 3	4	DBL. HUNG	2'-2" x 3'-5½"	2'-2½" x 3'-6"	2x 2 separate double hung windows-- NOT mulled
F	MASTER BATH	1	AWNING	2'-6" x 2'-10"	2'-6½" x 2'-10½"	
G	BEDROOM 1	2	DBL. HUNG	2'-2½" x 4'-3"	2'-3½" x 4'-3½"	2 single units
H	MASTER BEDROOM	2	DBL. HUNG	2'-2½" x 4'-3"	2'-3½" x 4'-3½"	2 single units
J	LIVING ROOM, STUDY	4	DBL. HUNG	2'-3½" x 5'-0"	2'-4" x 5'-0½"	
K	LIVING ROOM	1	DBL. HUNG	2'-9½" x 5'-0"	2'-10" x 5'-0½"	

- * ALL WINDOW SIZES, MANUFACTURER & MODEL SHALL BE APPROVED BY OWNER BEFORE PURCHASE.
- * WINDOWS TO BE ANDERSEN 400 SERIES, WOOD CLAD WINDOWS
- * ALL DOUBLE-HUNG WINDOWS SHALL BE TILT-WASH UNLESS OTHERWISE NOTED.
- * ALL NEW WINDOWS SHALL BE PRIMED AND PAINTED ON INTERIOR. ALL REUSED WINDOWS SHALL BE SANDED TO SMOOTH, PRIMED AND PAINTED WITH NON-VOC PAINT.

DOOR SCHEDULE

NO.	FLR.	LOCATION		MANU.	DOOR SIZE	R.O.	NOTES	HARDWARE
1	2ND	EXTERIOR TO PORCH		THERMATRU	2'-6"x 6'-6"		FULL LIGHT	TBD.
2	3RD	BEDROOM 1 CLOSET		SIMPSON	4'-0"x 5'-0"		DOUBLE SWING DOORS, NO HANDING, BALL CATCH, NO BORE	CABINET PULL
3	3RD	BEDROOM 1		SIMPSON	2'-6"x 6'-8"		SWING DOOR, SINGLE BORE	SCHLAGE SOLSTICE, LEVER, PASSAGE
4	3RD	BEDROOM 1 CLOSET		SIMPSON	1'-9"x 6'-0"		SWING DOOR, BALL CATCH, NO BORE	CABINET PULL
5	3RD	BEDROOM 2 CLOSET		SIMPSON	1'-9"x 6'-0"		SWING DOOR, NO HANDING, BALL CATCH, NO BORE	CABINET PULL
5a	3RD	BEDROOM 2 CLOSET		SIMPSON	1'-9"x 5'-0"		SWING DOOR, NO HANDING, BALL CATCH, NO BORE	
6	3RD	BEDROOM 2		SIMPSON	2'-6"x 6'-6"		SWING DOOR, SINGLE BORE	SCHLAGE SOLSTICE, LEVER, PASSAGE
7	3RD			SIMPSON	2'-6"x 6'-6"		SWING DOOR, SINGLE BORE	SCHLAGE SOLSTICE, LEVER, PASSAGE
8	3RD	BEDROOM 3 CLOSET		SIMPSON	1'-9"x 6'-0"		SWING DOOR, NO HANDING, BALL CATCH, NO BORE	CABINET PULL
8a	3RD	BEDROOM 3 CLOSET		SIMPSON	1'-9"x 5'-0"		SWING DOOR, NO HANDING, BALL CATCH, NO BORE	
9	3RD	MASTER BEDROOM		SIMPSON	2'-6"x 6'-6"		SWING DOOR, SINGLE BORE	SCHLAGE SOLSTICE, LEVER, PASSAGE
10	3RD	MASTER CLOSET		SIMPSON			DOUBLE SWING DOORS, NO HANDING, BALL CATCH, NO BORE	CABINET PULL
11	3RD	MASTER CLOSET		SIMPSON			DOUBLE SWING DOORS, NO HANDING, BALL CATCH, NO BORE	CABINET PULL
12	3RD	MASTER WC.		SIMPSON	2'-6"x 6'-6"		SWING DOOR, SINGLE BORE	SCHLAGE SOLSTICE, LEVER, PASSAGE
13	3RD	BATHROOM		SIMPSON	2'-6"x 6'-6"		SLAB, NON-BORED POCKET DOOR	(#1) BALDWIN FLUSH PULL
14	3RD	SHOWER STALL		GLASS CO.			HINGED GLASS DOOR AND GLASS SIDE PANELS	
15	3RD	LAUNDRY		SIMPSON	2'-6"x 6'-6"		SLAB, NON-BORED POCKET DOOR	(#1) BALDWIN FLUSH PULL

DOOR SCHEDULE NOTES

- ALL INTERIOR DOORS TO BE #7101 SIMPSON OVATION 2-PANEL, MDF PRE-PRIMED DOORS, OR SIM., UON.
- ALL INTERIOR DOORS SHALL BE 1-3/8" HINGED SWING DOORS, UON.
- ALL NEW DOORS SHALL BE LIGHTLY SANDED AND PAINTED WITH 2 COATS, NON-VOC PAINT.
- ALL REUSED EXISTING DOORS SHALL BE SANDED TO SMOOTH, PRIMED AND PAINTED, 2 COATS NON-VOC PAINT.

DOORS #13, 15: BALDWIN FLUSH PULL AT POCKET DOORS FROM BALDWIN RESERVE COLLECTION, SOLID BRASS, FINISH TBD.

(#1) 60" WALL-MOUNTED SLIDING DOOR HARDWARE BY AMERICAN PRO DECOR

FINISH SCHEDULE

FLR	ROOM NAME	WALL	CLG	FLOOR	BASE	NOTES
3	HALLWAY	GWB, PTD.	GWB, PTD	UNFIN. MAPLE	4½" WOOD, PTD.	
3	BEDROOM 1	GWB, PTD.	GWB, PTD	UNFIN. MAPLE	4½" WOOD, PTD.	
3	BEDROOM 2	GWB, PTD.	GWB, PTD	UNFIN. MAPLE	4½" WOOD, PTD.	
3	BEDROOM 3	GWB, PTD.	GWB, PTD	UNFIN. MAPLE	4½" WOOD, PTD.	
3	MASTER BEDROOM	GWB, PTD.	GWB, PTD	UNFIN. MAPLE	4½" WOOD, PTD.	
3	MASTER WC.	GWB, PTD.	GWB, PTD	PORCELAIN TILE	4½" WOOD, PTD.	
3	BATHROOM	GWB/ TILE	GWB, PTD	PORCELAIN TILE	4½" WOOD, PTD.	FOR EXTENT AND PATTERN OF WALL TILE, SEE DWG. x/A4.1
3	LAUNDRY	GWB, PTD.	GWB, PTD	PORCELAIN TILE	4½" WOOD, PTD.	
2	STAIR TO 3RD FLR.	GWB, PTD.	GWB, PTD	HDWD. TREADS	HDWD., PTD.	TREADS TO BE MAPLE, CLEAR FIN.- 3 COATS POLY.; NEW WOOD 2"Ø HANDRAIL, WALL-MOUNTED, LAUNDRY SIDE
2	OFFICE	PAINT (1)	PAINT (1)	EXTG. HDWD.(2)	EXISTING OAK	PATCH FLOOR AT NEW OPENING TO LIVING ROOM
2	LIVING ROOM	PAINT (1)	PAINT (1)	EXTG. HDWD.(2)		
2	FRONT PORCH					REPLACE ROTTED WINDOW SILLS AND TRIM AS NEEDED; PAINT

FINISH NOTES

- THIRD FLOOR DOOR AND WINDOW TRIM TO BE 3-1/2" PRE-PRIMED, SQUARE STOCK POPLAR; HEAD TRIM TO BE ¾" THICK
- PAINT SHALL BE LATEX, NON-VOC. BENJAMIN MOORE NATURA OR SIM.
- GYPSUM BOARD TO BE ½" UNLESS OTHERWISE NOTED
- CEMENT BOARD TO BE USED AT ALL DAMP AND WET AREAS
- LINOLEUM TO BE FORBO OR SIMILAR
- EACH CLOSET SHALL BE FURNISHED WITH 1 ROD AND 1 SHELF

- (1) REPAIR AND PATCH GYPBD. SURFACES AS NEEDED
- (2) SAND AND REFINISH EXISTING WOOD FLOORS. 3 COATS POLY.

STEIN
LION
DESIGN

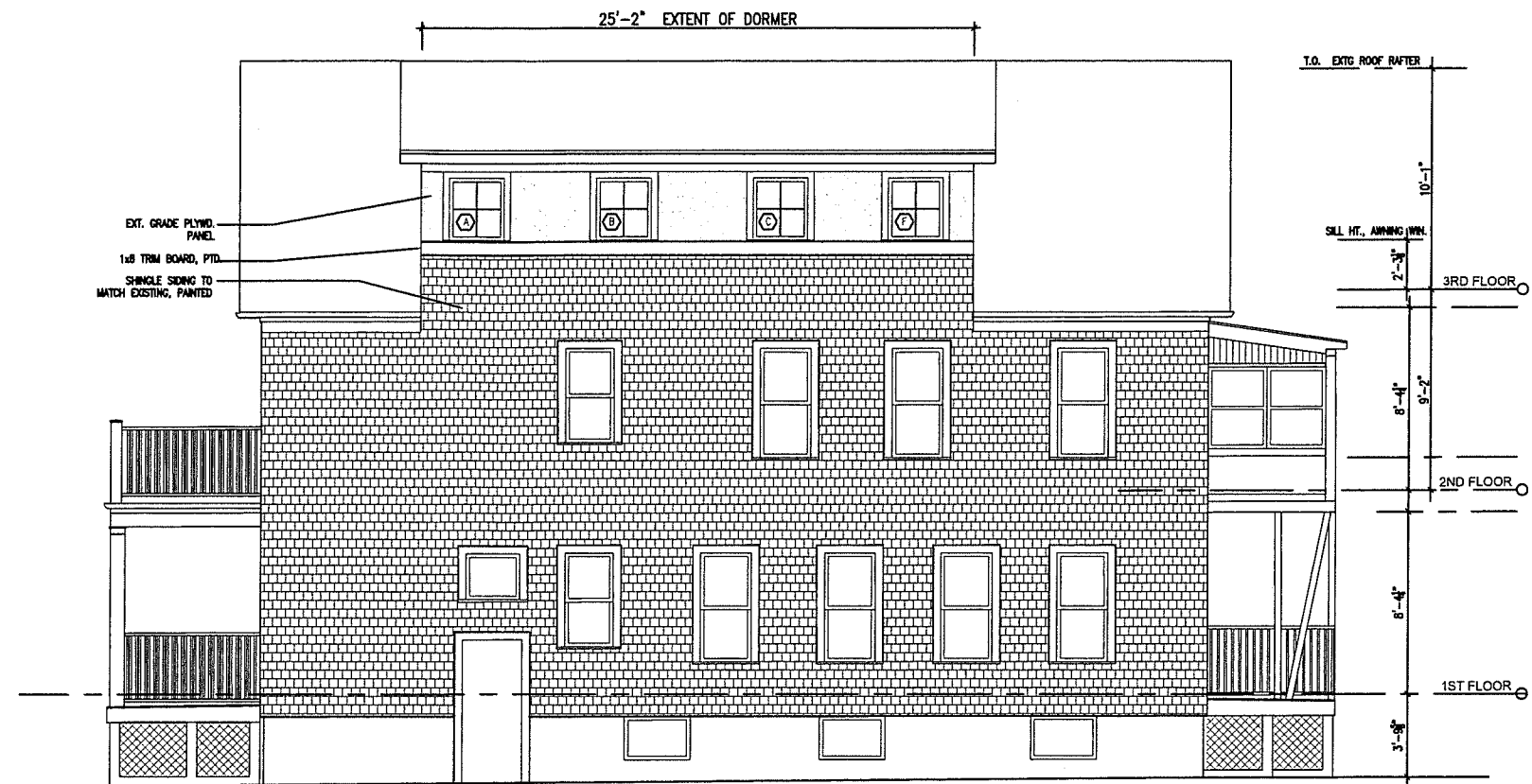
781.962.4192
shiralion@gmail.com

Atlas Youmans
RESIDENCE
49 Magnolia Street
Arlington, MA

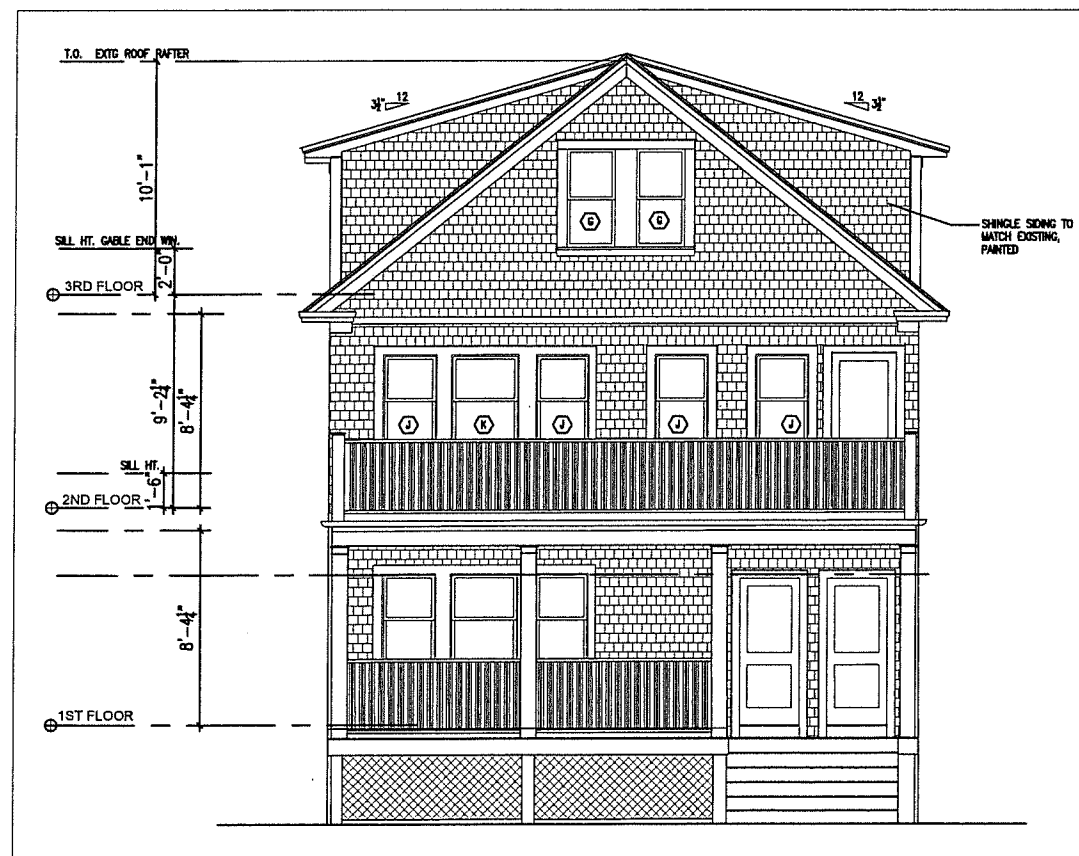
DATE: 10.28.19 DD
12.16.19 REV
02.12.20 PERMIT

SCHEDULES

A2.4



3 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



1 SOUTH ELEVATION
1/8" = 1'-0"

STEIN
LION
DESIGN
781.962.4192
shiralion@gmail.com

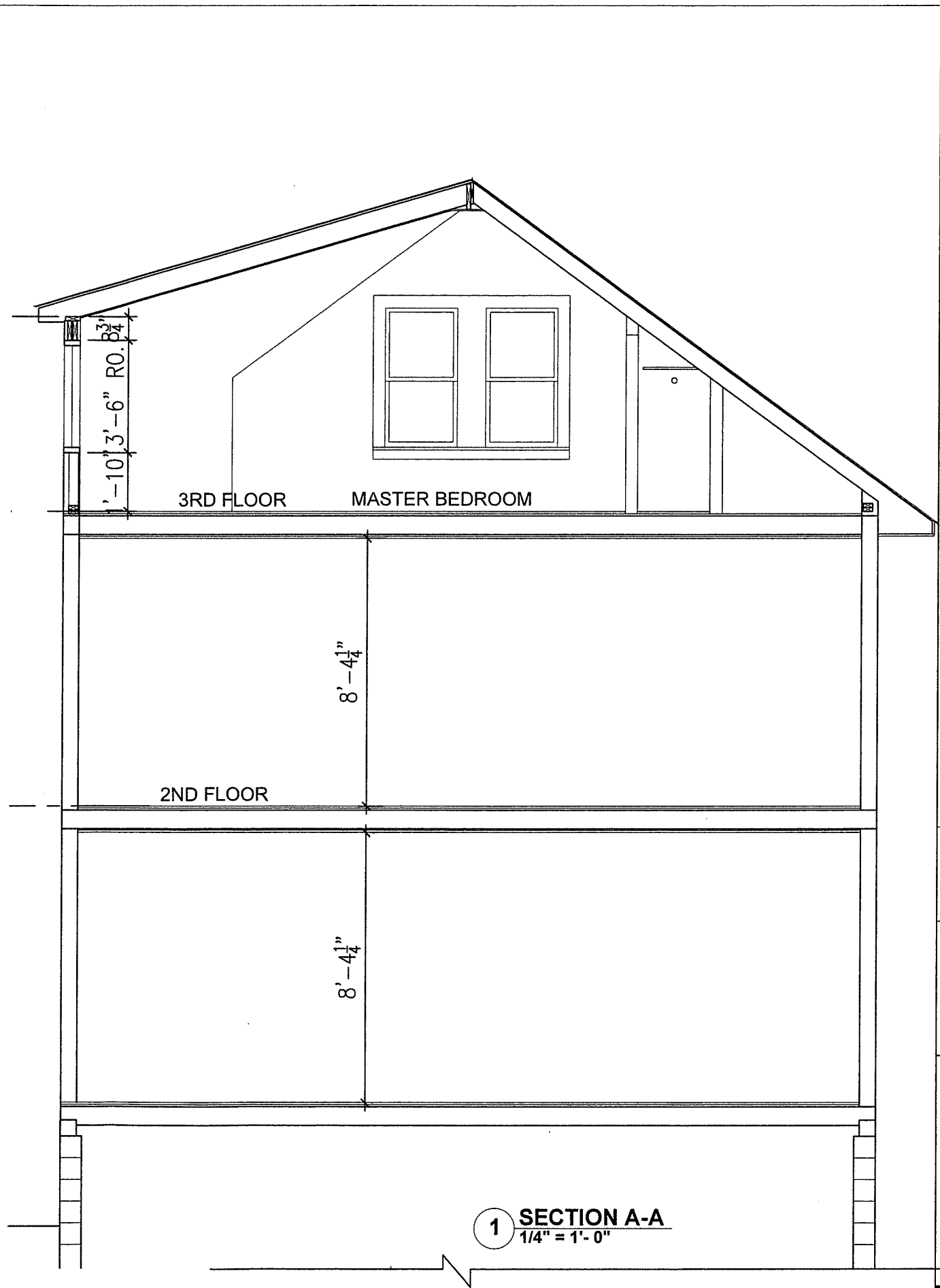
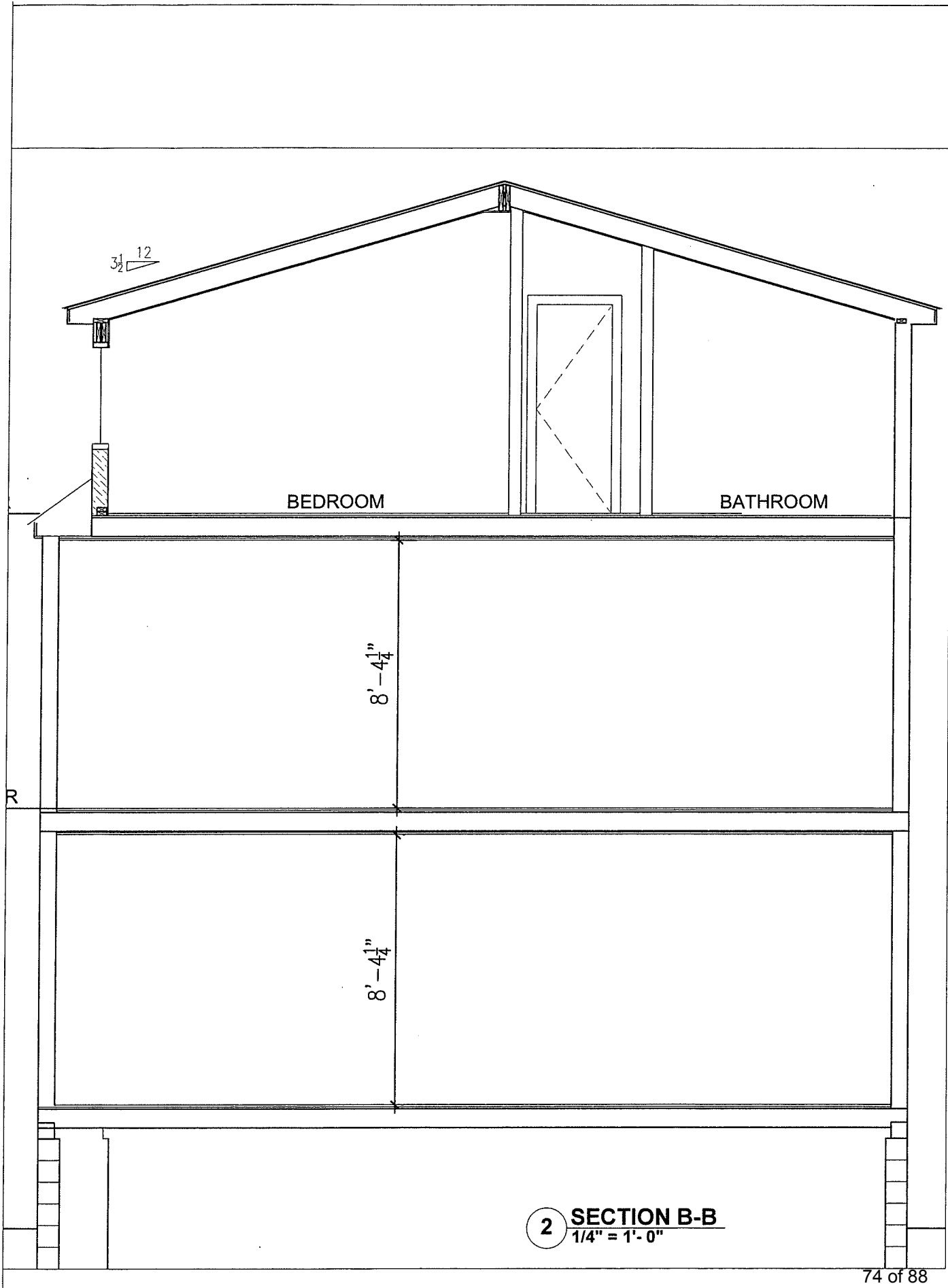
Atlas Youmans
RESIDENCE
49 Magnolia Street
Arlington, MA

DATE: 10.28.19 DD
12.16.19 REV
02.12.20 PERMIT

SCALE: 1/8" = 1'-0"

PROPOSED
EXTERIOR
ELEVATIONS

A3.1



STEIN
LION
DESIGN
781.962.4192
shiralion@gmail.com

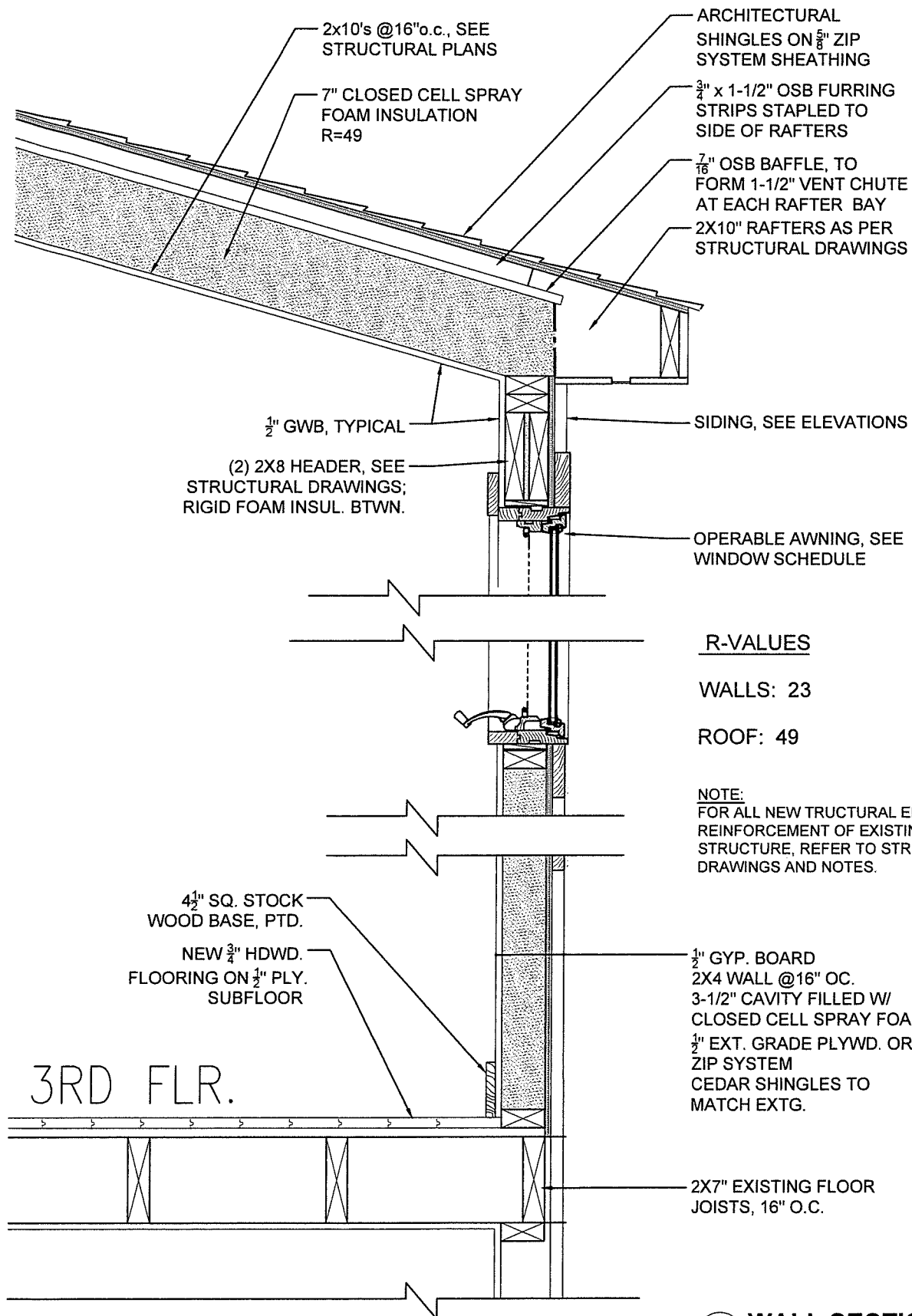
Atlas Youmans
RESIDENCE
49 Magnolia Street
Arlington, MA

DATE: 10.28.19 DD
12.16.19 REV
02.12.20 PERMIT
SCALE: 1/4" = 1'-0"

SECTIONS



A3.2



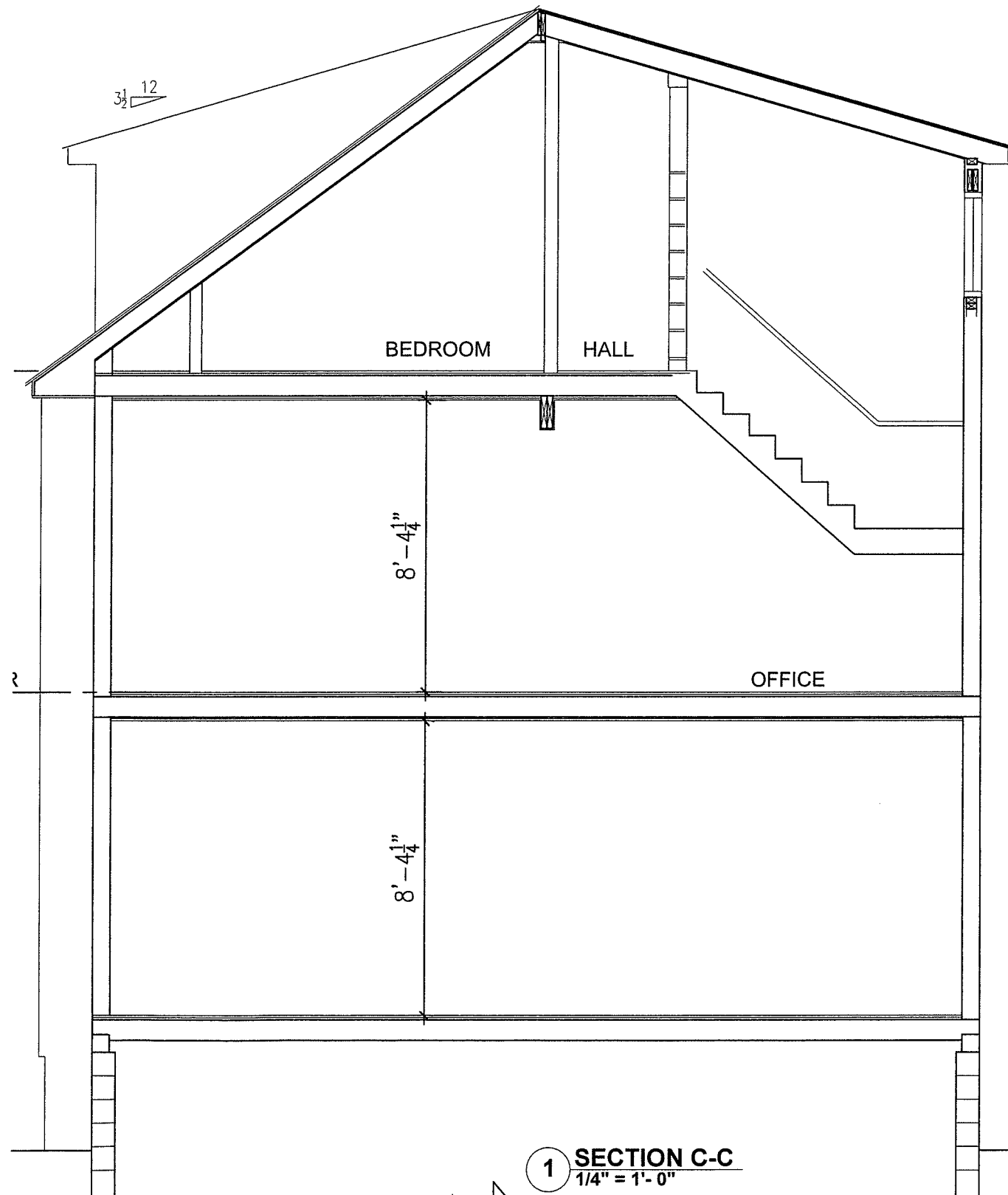
R-VALUES

WALLS: 23

ROOF: 49

NOTE:
FOR ALL NEW TRUCTURAL ELEMENTS AND REINFORCEMENT OF EXISTING STRUCTURE, REFER TO STRUCTURAL DRAWINGS AND NOTES.

2 WALL SECTION
1" = 1'-0"



1 SECTION C-C
1/4" = 1'-0"

STEIN
LION
DESIGN

781.962.4192
shiralion@gmail.com

Atlas Youmans
RESIDENCE
49 Magnolia Street
Arlington, MA

DATE: 10.28.19 DD
12.16.19 REV
02.12.20 PERMIT

SCALE: 1/4" = 1'-0"

SECTIONS

A3.3



Town of Arlington, Massachusetts

Docket #3632 - 469 Appleton Street

ATTACHMENTS:

Type	File Name	Description
▣ Application for Special Permit	ZBA_Package__469_Appleton_Street.pdf	ZBA Package For 469 Appleton Street



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by Johannah Malone of Arlington, Massachusetts on July 17, 2020 a petition seeking permission to alter her property located at **469 Appleton Street - Block Plan 179.0-0004-0021.0** Said petition would require a Special Permit under **Section 8.1.3 (B) (Nonconforming Single-Family or Two-Family Dwellings)** of the Zoning Bylaw for the Town of Arlington.

Hearing in regard to the said petition will be remotely conducted via "Zoom" **Tuesday evening September 8, 2020 at 7:30 P.M or as soon thereafter as the petitioner may be heard. Please visit the Town of Arlington website for hearing information.**

DOCKET NO 3632

Zoning Board of Appeals
Christian Klein, RA, Chair

For information contact: **ZBA@town.arlington.ma.us**

REQUEST FOR SPECIAL PERMIT
TOWN OF ARLINGTON

In the matter of the Application of 469 Appleton Street
to the Zoning Board of Appeals for the Town of Arlington:
Application for a Special Permit is herewith made, in accordance
with Section 10.11 of the Zoning Bylaw for the Town of Arlington,
seeking relief from the following specific provisions of the Zoning
Bylaw, and as described fully in the attached form, Special Permit
Criteria: 5.4.2 Tables of Dimensional and Density Regulations

The Petitioner/Applicant states he/she/they is/are the owner -
occupant of the land in Arlington located at 469 Appleton Street
with respect to such relief is sought; that no unfavorable action
has been taken by the Zoning Board of Appeals or its predecessors
upon a similar petition regarding this property within the two (2)
years next immediately prior to the filing hereof. The applicant
expressly agrees to full compliance with any and all conditions and
qualifications imposed upon this permission, whether by the Zoning
Bylaw or by the Zoning Board of Appeals, should the same be
granted. The Applicant represents that the grounds for the relief
sought are as follows: Relief from minimum open space in the R1 district

E-Mail mail@kneelandconstruction.com Signed Sarah Malore Date: 7/17/2020
Telephone 781-393-9899 Address 469 Appleton Street

Special Permit Criteria- The following standards must be addressed and met for the grant of a Special Permit:

1). Indicate where the use requested is listed in the Table of Use Regulations as a Special Permit in the district for which the application is made or is so designated elsewhere in the Arlington Zoning Bylaw.
Section 5.4.2

2). Describe how the requested use is essential or desirable to the public convenience or welfare.
The homeowner likes the area and the community around, but the family is growing and therefore there is need for additional living area. This proposal satisfies the familys needs while not being detrimental to the community.

3). Describe how the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.
There will be no adverse effects regarding traffic congestion or pedestrian safety.

4). Describe how the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.
No changes are being made that could effect public water, drainage, or sewage systemsas there is no plumbing involved.

5). Describe how any special regulations for the use, set forth in Article 11, are fulfilled.
N/A

6). Describe how the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health, morals, or welfare.
The houses in the area are similar in design to the proposed design for 469 Appleton Street and such will not impair the integrity or character of the district.

7). Describe how the requested use will not, by its addition to a neighborhood, cause an excess of that particular use that could be detrimental to the character of said neighborhood.
Proposed plan is only a minor modifaction to the house opening up some living space for the owners and their family.

TOWN OF ARLINGTON
Dimensional and Parking Information
For application to The Zoning Board of Appeals

1. Property Location: 469 Appleton Street Zoning District: R1
2. Present Use/Occupancy: Single Family No. of dwelling units (if residential) 1
3. Existing Gross Floor Area (see definition of Gross Floor Area (GFA) in Article 2 of the Town of Arlington Zoning Bylaw and provide supporting documentation (worksheet) showing dimensions of GFA by floor: 2583
4. Proposed Use/Occupancy: Single Family No. of dwelling units (if residential) 1
5. Proposed Gross Floor Area (see definition of Gross Floor Area in Article 2 of the Town of Arlington Zoning Bylaw and provide supporting documentation (worksheet) showing dimensions of GFA by floor): 2775

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (sq. ft.)	3471	3471	min. 6000
7. Frontage (ft.)	50.2	50.2	min. 60
8. Floor area ratio	0.744	0.799	max.
9. Lot Coverage (%)	65	65	max 35
10. Lot Area per Dwelling Unit (sq. ft.)	3471	3471	min.
11. Front Yard Depth (ft.)	20.4	21.4	min. 25
12. Left Side Yard Depth (ft.)	7.6	8.6	min. 10
13. Right Side Yard Depth (ft.)	9.3	10.6	min. 10
14. Rear Side Yard Depth (ft.)	22.7	35.2	min. 14.5
15. Height (stories)	1-3/4	2	max. 2-1/2
16. Height (ft.)	25.3	25.3	max. 35
17. Landscaped Open Space (% of GFA) Sq. ft. _____	0	0	min. 10%
18. Usable Open Space (% of GFA) Sq. ft. _____	0	0	min. 30%
19. Parking Spaces (number)	N/A	N/A	min.
20. Parking area setbacks	N/A	N/A	min.
21. Loading Spaces (if applicable)	N/A	N/A	min.
22. Type of construction	V	V	

OPEN SPACE/GROSS FLOOR AREA

Refer to Zoning Bylaw Article 2, Definitions and Article 6, Dimensional Regulations

Address 469 Appleton Street Zoning District R1

<u>OPEN SPACE</u>	<u>EXISTING</u>	<u>PROPOSED</u>
Total lot area	<u>3471</u>	<u>3471</u>
Open Space (Usable)*	<u>0</u>	<u>0</u>
Open Space (Landscaped)	<u>0</u>	<u>0</u>

*Usable Open Space must be at least 75% open to the sky, free of automotive, traffic and parking, and readily accessible. Open space shall be deemed usable only if : 1) at least 75% of the area has a grade of less than 8% and no horizontal dimension less than 25 feet.

<u>GROSS FLOOR AREA (GFA)</u>		
Accessory building	<u>51</u>	<u>51</u>
Basement or cellar (>5' excluding mechanical area)	<u>768</u>	<u>768</u>
1 st Floor	<u>768</u>	<u>768</u>
2 nd Floor	<u>576</u>	<u>768</u>
3 rd Floor	<u>-</u>	<u>-</u>
4 th Floor	<u>-</u>	<u>-</u>
5 th Floor	<u>-</u>	<u>-</u>
Attic (>7'3" in height, excluding elevator, mechanical)	<u>-</u>	<u>-</u>
Parking garages (except as used for accessory Parking garages or off street loading purposes)	<u>-</u>	<u>-</u>
All weather habitable porches and balconies	<u>420</u>	<u>420</u>
Total Gross Floor Area (GFA)	<u>2583</u>	<u>2775</u>

<u>REQUIRED MINIMUM OPEN SPACE AREA</u>	
Proposed Usable Open Space Percent of GFA	<u>30% min.</u>
Proposed Landscaped Open Space Percent of GFA	<u>10% min.</u>

This worksheet applies to plans dated 06/09/2020 designed by E.I.

Reviewed by Inspectional Services _____ Date: _____

ZONING TABLE

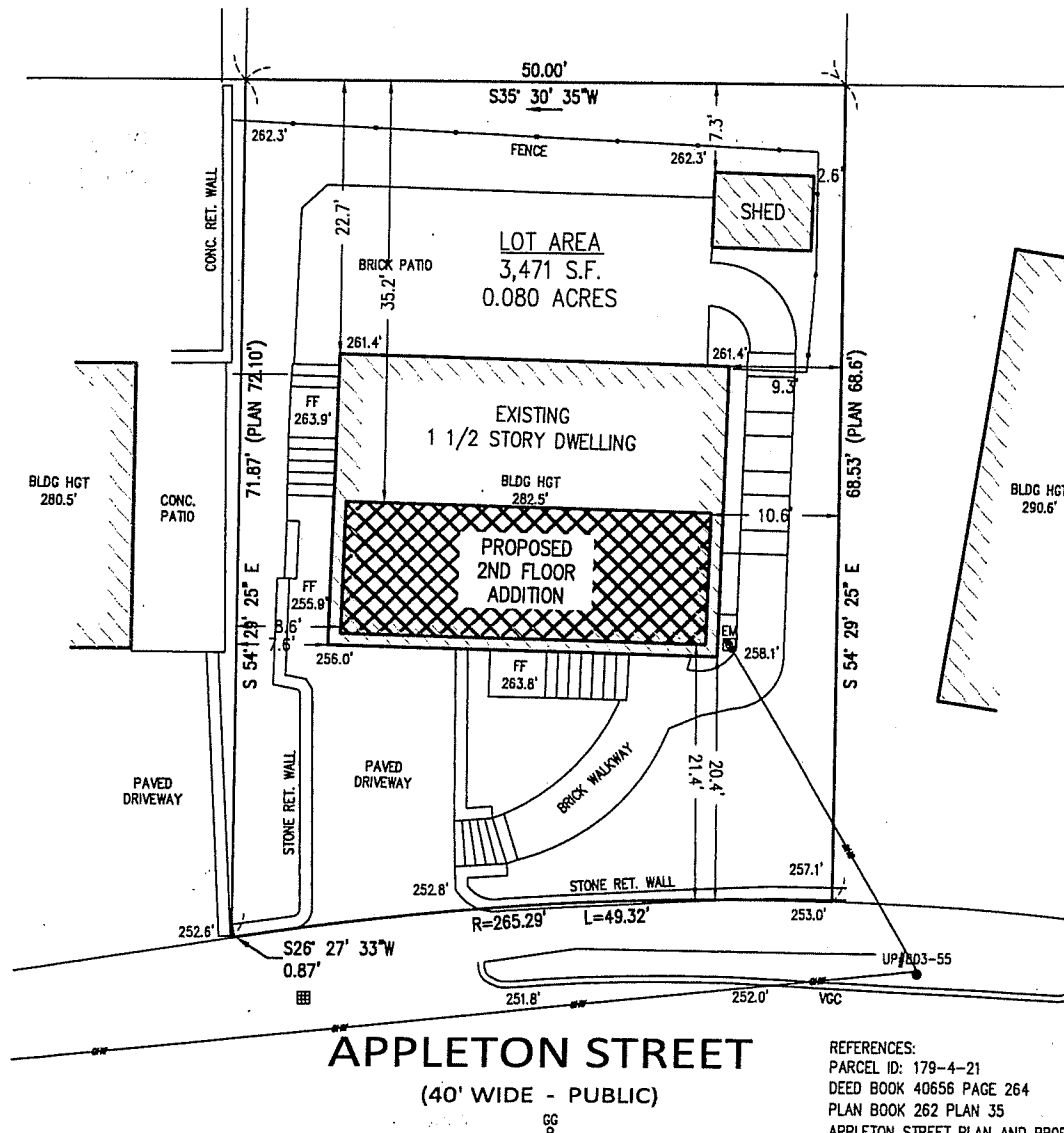
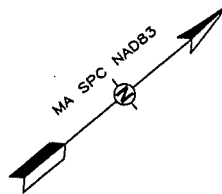
ZONING DISTRICT: R1 (SINGLE FAMILY)

MIN. SETBACK REGULATIONS

FRONT YARD:	25 FEET
SIDE YARD:	10 FEET
REAR YARD:	14 FEET
EXIST. FRONT YARD:	20.4 FEET
EXIST. SIDE YARD:	10 FEET
EXIST. REAR YARD:	22.7 FEET

DIMENSIONAL REGULATIONS

MIN. LOT FRONTAGE:	60 FEET
EXIST. LOT FRONTAGE:	50.20 FEET
MAX. LOT COVERAGE:	35%
EXIST. LOT COVERAGE:	65 %
MIN. LOT AREA:	6,000 S.F.
EXIST. LOT AREA:	3,471 S.F.
EXIST. BUILDING HEIGHT:	23.3 FEET
MAX. BUILDING HEIGHT:	35 FEET



VERTICAL DATUM:
NORTH AMERICAN VERTICAL DATUM OF 1988 - U.S. FEET

PLAN VIEW SCALE
1 inch = 10 ft.

REFERENCES:
PARCEL ID: 179-4-21
DEED BOOK 40656 PAGE 264
PLAN BOOK 262 PLAN 35
APPLETON STREET PLAN AND PROFILE
LUBLIN STREET PLAN AND PROFILE
SYLVIA STREET PLAN AND PROFILE
MODENA STREET PLAN AND PROFILE

OWNER:
WILLIAM J. & JOHANNAH MALONE
469 APPLETON STREET
ARLINGTON, MA 02420

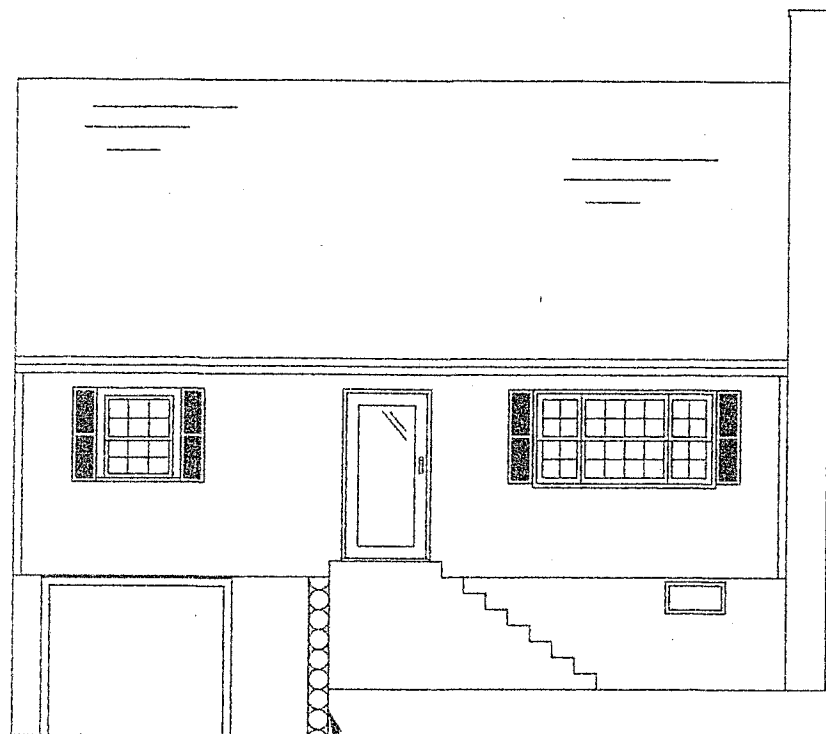
PLAN TITLE:
CERTIFIED PLOT PLAN
469 APPLETON STREET
ARLINGTON, MASSACHUSETTS

PREPARED BY:
HAWTHORNE LAND SURVEYING SERVICES
11 RIVER DRIVE, UNIT D, DANVERS, MA 01923
TEL.: (978) 500-0394
website: www.hawthornesurvey.com

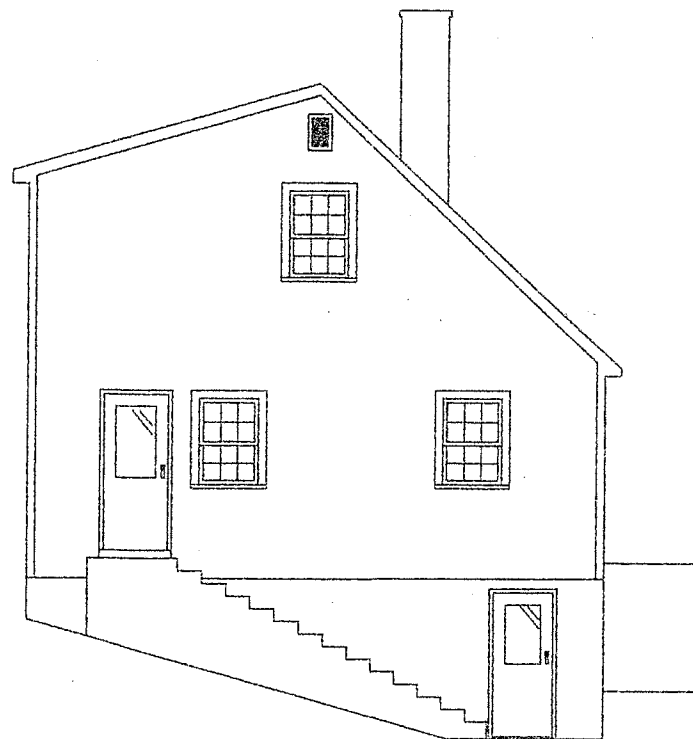
I HEREBY CERTIFY THAT THIS PLAN WAS
PREPARED FROM AN ON THE GROUND
INSTRUMENT SURVEY AND THE LOCATIONS
SHOWN HEREON ARE AS FOUND AS OF THE
DATE OF SURVEY.



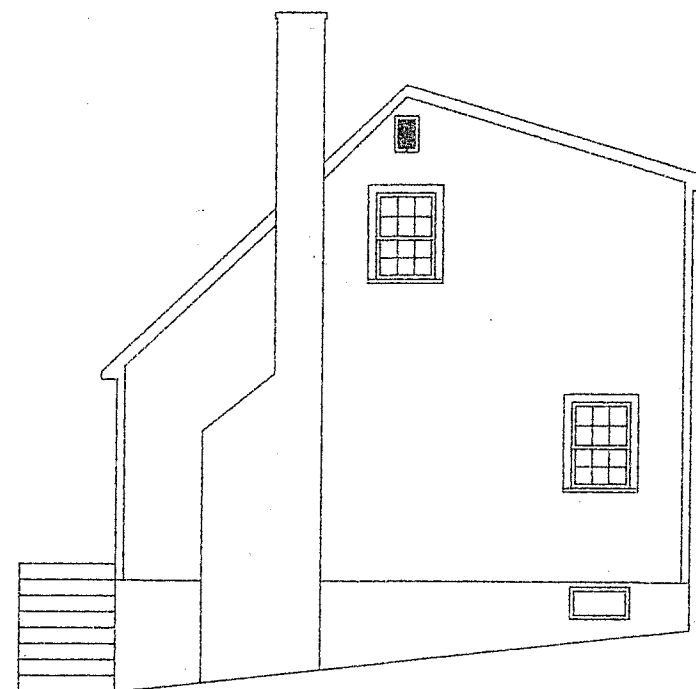
DATE: 7/08/2020



EXISTING FRONT ELEVATION
SCALE: 1/8"=1'-0"



EXISTING LEFT SIDE ELEVATION
SCALE: 1/8"=1'-0"



EXISTING RIGHT SIDE ELEVATION
SCALE: 1/8"=1'-0"

EXTERIOR PLYWOOD SHEATHING TO ACT AS CONTINUOUS BRACING
METHOD PER ICR 2012 R602.10 METHOD CS-WSP.
END CONDITIONS TO BE PROVIDED PER FIGURE R602.10.7. NAILING
SHALL BE 8D COMMON 2.5", SPACING TO BE 6" O.C. AT EDGES AND 12" FIELD.

- (H) HEAT DETECTOR
- (SD) PHOTOELECTRIC SMOKE DETECTOR
- (CO) CO DETECTOR
- (CSO) COMBINATION DETECTOR

WINDOW SCHEDULE
HARVEY

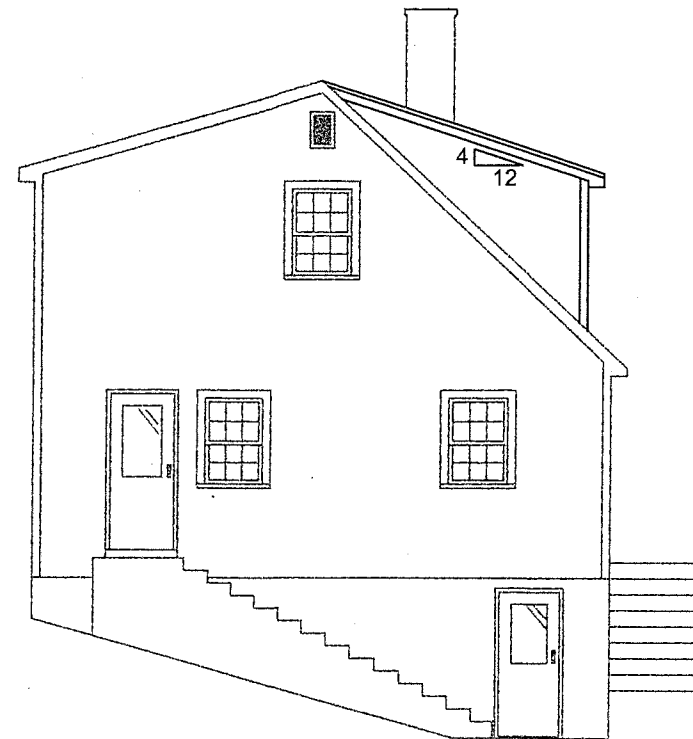
28310: RO 2'-10" X 4'-1-1/2"

LEGEND
— PROPOSED
— EXISTING
--- DEMO

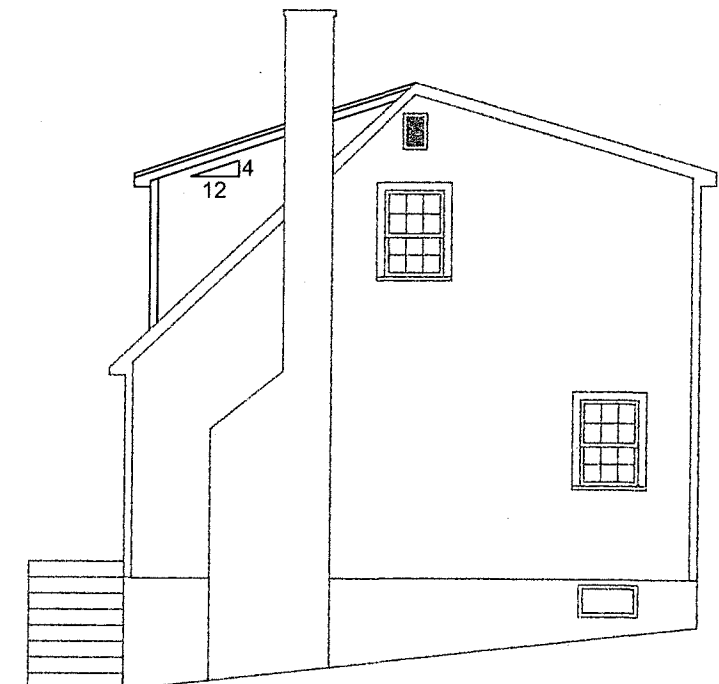
KNEELAND CONSTRUCTION CORPORATION			REVISION	DATE	TITLE
407R MYSTIC AVE SUITE 34B					
MEDFORD, MA					
P: (781) 393-9899 F: (781) 393-0601					
MALONE RESIDENCE			CHECKED BY: COD	DRAWN BY: EI	SCALE: AS NOTED
469 APPLETON STREET			TITLE		
ARLINGTON, MA			ARCHITECTURAL PLANS		
			DATE: 06/09/2020		
			SHEET NO.		
			A-01		



RETAINING WALL
PROPOSED FRONT ELEVATION
 SCALE: 1/8"=1'-0"



PROPOSED LEFT SIDE ELEVATION
 SCALE: 1/8"=1'-0"



PROPOSED RIGHT SIDE ELEVATION
 SCALE: 1/8"=1'-0"

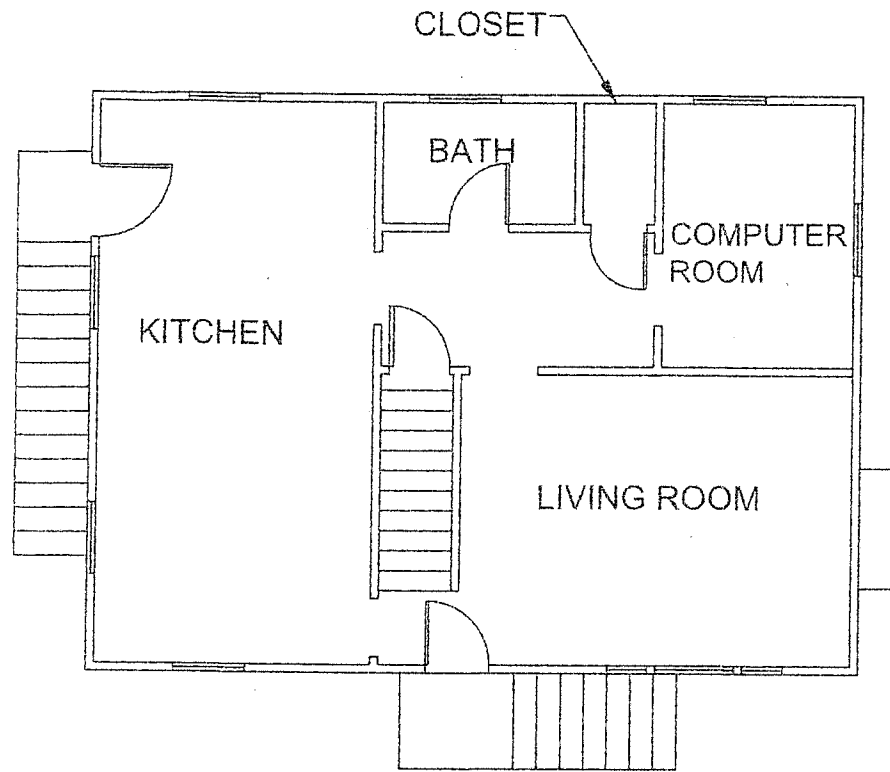
EXTERIOR PLYWOOD SHEATHING TO ACT AS CONTINUOUS BRACING
 METHOD PER ICR 2012 R602.10 METHOD CS-WSP.
 END CONDITIONS TO BE PROVIDED PER FIGURE R602.10.7. NAILING
 SHALL BE 8D COMMON 2.5", SPACING TO BE 6" O.C. AT EDGES AND 12" FIELD.

- (H) HEAT DETECTOR
- (SD) PHOTOELECTRIC SMOKE DETECTOR
- (CO) CO DETECTOR
- (CSO) COMBINATION DETECTOR

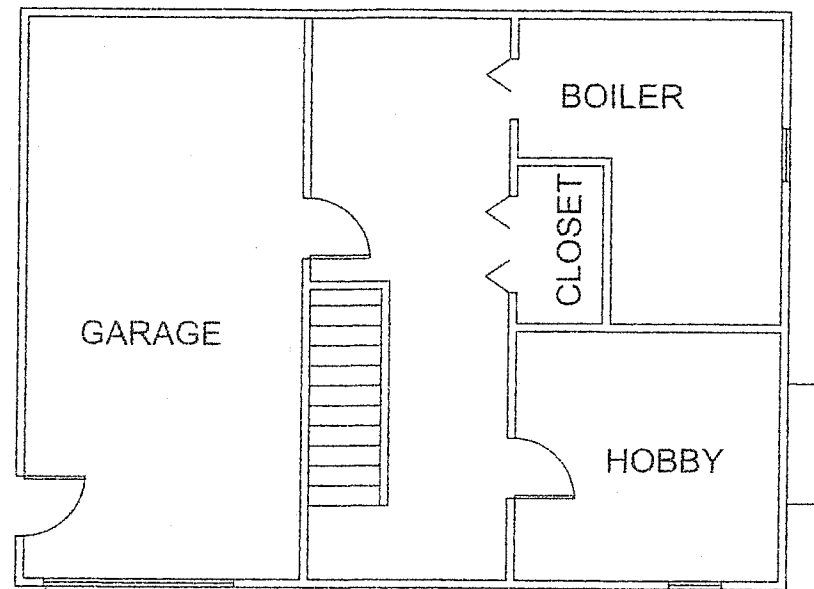
WINDOW SCHEDULE
HARVEY
 28310: RO 2'-10" X 4'-1-1/2"

LEGEND
 — PROPOSED
 --- EXISTING
 --- DEMO

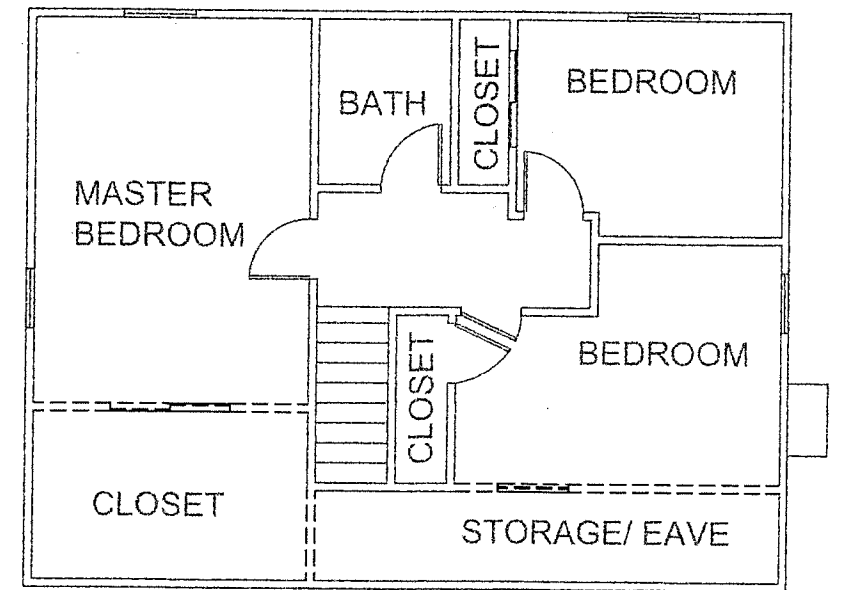
KNEELAND CONSTRUCTION CORPORATION 407R MYSTIC AVE SUITE 34B MEDFORD, MA P: (781) 393-9899 F: (781) 393-0601	REVISION	DATE	TITLE
MALONE RESIDENCE 469 APPLETON STREET ARLINGTON, MA	CHECKED BY: COD	DRAWN BY: EI	SCALE: AS NOTED
	TITLE		DATE: 06/09/2020
	ARCHITECTURAL PLANS		SHEET NO.
			A-02



EXISTING BASEMENT FLOOR PLAN
SCALE: 1/8"=1'-0"



EXISTING FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



EXISTING SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

EXTERIOR PLYWOOD SHEATHING TO ACT AS CONTINUOUS BRACING
METHOD PER ICR 2012 R602.10 METHOD CS-WSP.
END CONDITIONS TO BE PROVIDED PER FIGURE R602.10.7. NAILING
SHALL BE 8D COMMON 2.5", SPACING TO BE 6" O.C. AT EDGES AND 12" FIELD.

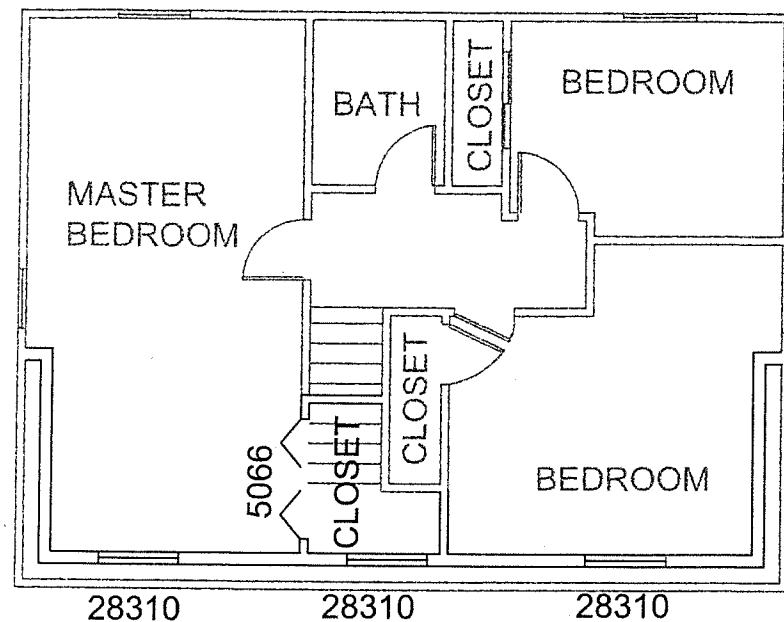
- (H) HEAT DETECTOR
- (SD) PHOTOELECTRIC SMOKE DETECTOR
- (CO) CO DETECTOR
- (CSO) COMBINATION DETECTOR

WINDOW SCHEDULE
HARVEY

28310: RO 2'-10" X 4'-1-1/2"

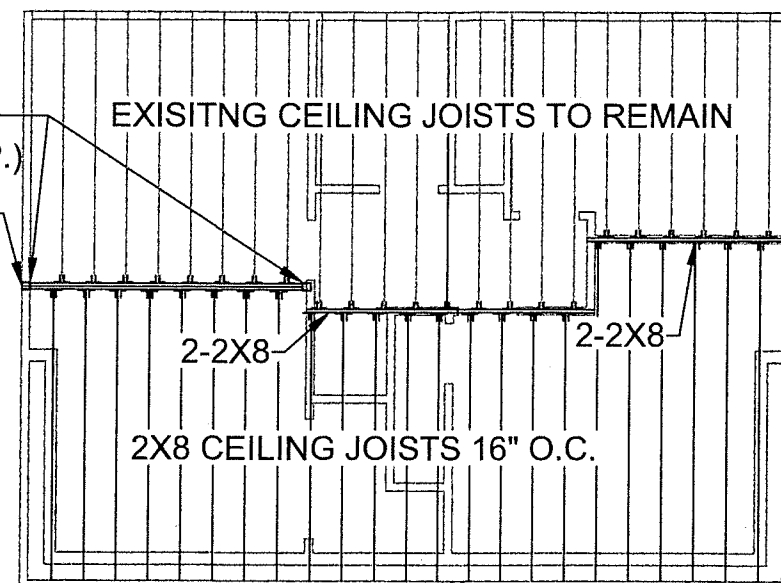
- LEGEND**
- PROPOSED
 - EXISTING
 - DEMO

KNEELAND CONSTRUCTION CORPORATION		REVISION	DATE	TITLE
407R MYSTIC AVE SUITE 348 MEDFORD, MA				
P: (781) 393-9899 F: (781) 393-0601				
MALONE RESIDENCE		CHECKED BY: COD	DRAWN BY: EI	SCALE: AS NOTED
469 APPLETON STREET		TITLE		DATE: 06/09/2020
ARLINGTON, MA		ARCHITECTURAL PLANS		SHEET NO.
				A-03



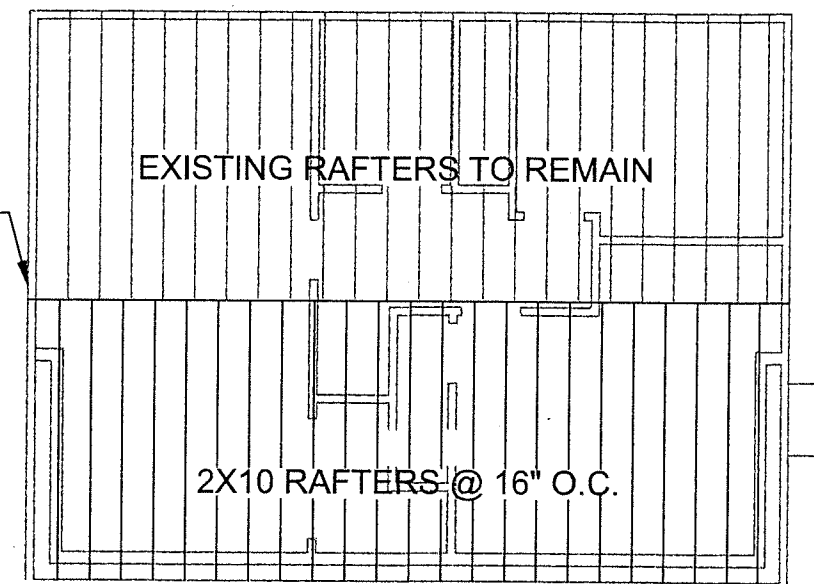
PROPOSED SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

DOUBLE 2X4
COLUMNS(TYP.)
3-2X12



SECOND LEVEL CEILING FRAMING PLAN
SCALE: 1/8"=1'-0"

*2x12 RIDGE
POLE



ROOF FRAMING PLAN
SCALE: 1/8"=1'-0"

* USE DOUBLE RIDGE POLE IF NEW
RAFTERS DO NOT ALIGN WITH
EXISTING REMAINING RAFTERS

EXTERIOR PLYWOOD SHEATHING TO ACT AS CONTINUOUS BRACING
METHOD PER ICR 2012 R602.10 METHOD CS-WSP.
END CONDITIONS TO BE PROVIDED PER FIGURE R602.10.7. NAILING
SHALL BE 8D COMMON 2.5", SPACING TO BE 6" O.C. AT EDGES AND 12" FIELD.

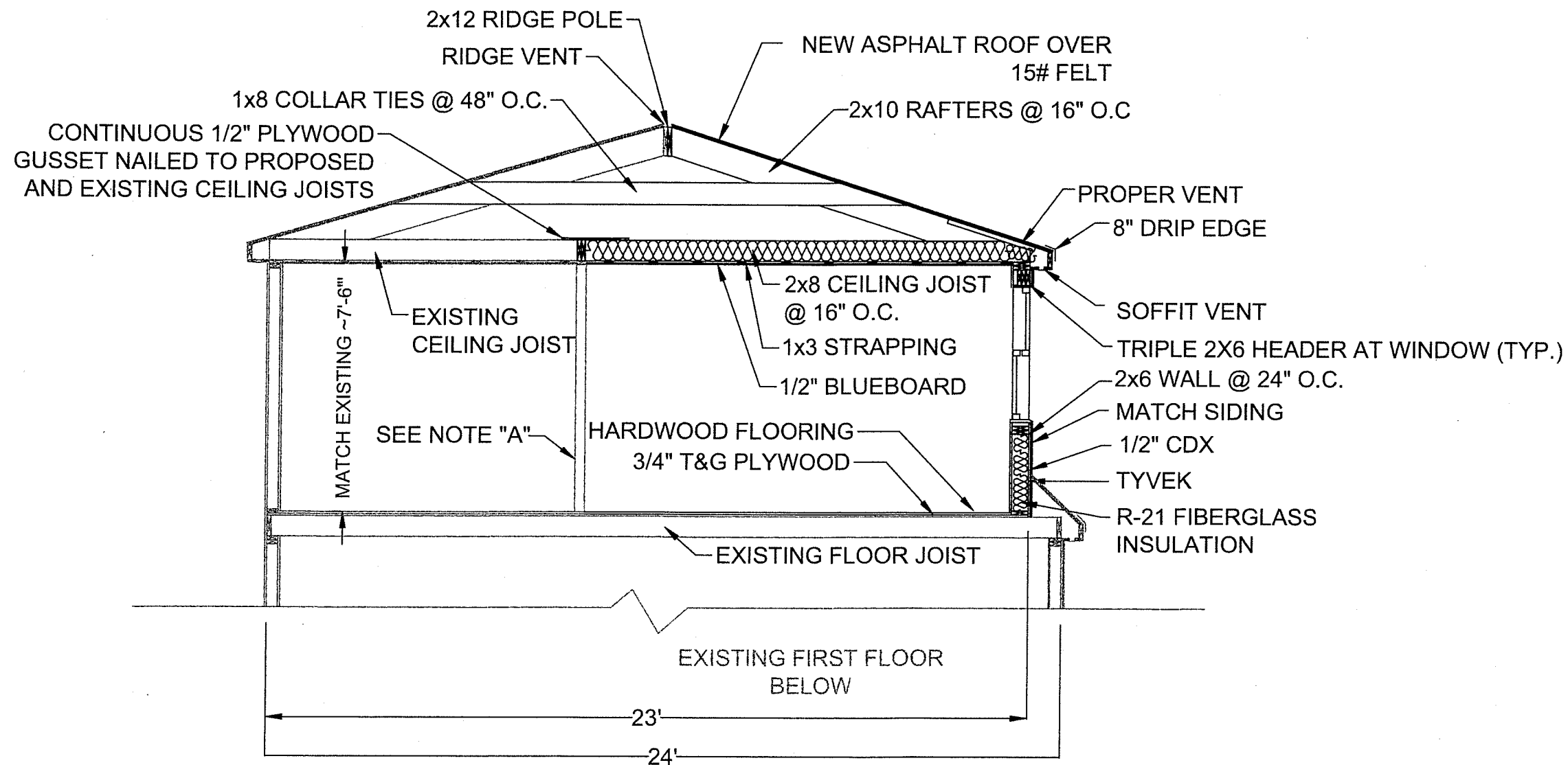
- (H) HEAT DETECTOR
- (SD) PHOTOELECTRIC SMOKE DETECTOR
- (CO) CO DETECTOR
- (CSO) COMBINATION DETECTOR

WINDOW SCHEDULE
HARVEY

28310: RO 2'-10" X 4'-1-1/2"

LEGEND
— PROPOSED
— EXISTING
--- DEMO

KNEELAND CONSTRUCTION CORPORATION		REVISION	DATE	TITLE
407R MYSTIC AVE SUITE 348 MEDFORD, MA				
P: (781) 393-9899 F: (781) 393-0601				
MALONE RESIDENCE		CHECKED BY: COD	DRAWN BY: EI	SCALE: AS NOTED
469 APPLETON STREET		TITLE		DATE: 06/09/2020
ARLINGTON, MA		ARCHITECTURAL PLANS		SHEET NO.
				A-04



FRAMING DETAIL 1-1
SCALE: 1/4"=1'-0"

NOTE A: LOCATION OF BEARING
 WALL VARIES, SEE A-04 CEILING
 FRAMING PLAN

EXTERIOR PLYWOOD SHEATHING TO ACT AS CONTINUOUS BRACING
 METHOD PER ICR 2012 R602.10 METHOD CS-WSP.
 END CONDITIONS TO BE PROVIDED PER FIGURE R602.10.7. NAILING
 SHALL BE 8D COMMON 2.5", SPACING TO BE 6" O.C. AT EDGES AND 12" FIELD.

- (H) HEAT DETECTOR
- (SD) PHOTOELECTRIC SMOKE DETECTOR
- (CO) CO DETECTOR
- (CSC) COMBINATION DETECTOR

WINDOW SCHEDULE
HARVEY
 28310: RO 2'-10" X 4'-1-1/2"

LEGEND
 — PROPOSED
 --- EXISTING
 --- DEMO

KNEELAND CONSTRUCTION CORPORATION		REVISION	DATE	TITLE
407R MYSTIC AVE SUITE 34B MEDFORD, MA				
P: (781) 393-9899 F: (781) 393-0601				
MALONE RESIDENCE		CHECKED BY: COD	DRAWN BY: EI	SCALE: AS NOTED
469 APPLETON STREET		TITLE		DATE: 06/09/2020
ARLINGTON, MA		ARCHITECTURAL PLANS		SHEET NO.
				A-05